



**AGENDA**  
**REGULAR CITY COUNCIL MEETING**  
**41ST CITY COUNCIL**  
**OAK PARK, MICHIGAN**  
**JANUARY 5, 2026**  
**7:00 PM**

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- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. APPROVAL OF AGENDA**

**5. CONSENT AGENDA**

The following routine items are presented for approval without discussion, as a single agenda item. Should any member wish to discuss or disapprove any item it must be dropped from the blanket motion of approval and considered as a separate item.

- A. Regular City Council Meeting Minutes for December 15, 2025
- B. Request to approve Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Landscape Maintenance Contract to Capital Landscapes of Oak Park, MI in the amount of \$15,793.90 and (\$6,867.96), respectively.
- C. Request to approve Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Lawn Maintenance Contract, to Capital Landscapes of Oak Park, MI in the amounts of \$3,998.92 and (\$27,473.75), respectively.
- D. Request authorization to bid the 2026 Capital Ave. Rehabilitation Project, M-786
- E. Payment of invoices from OHM Advisors for Engineering Consulting Services for the total amount of \$39,782.70.
- F. Request authorization to bid the 2026 Joint and Crack Sealing Project, M-788.
- G. Arts and Cultural Diversity Commission Meeting Minutes for November 13, 2025.
- H. Traffic Safety Board Meeting Minutes for November 19, 2025
- I. Zoning Board of Appeals Meeting Minutes for October 28, 2025
- J. Approval of Pay Application No. 1 for the 2025-2026 Miscellaneous Concrete Project, M-782 to Mattioli Cement Company of Fenton, MI, in the amount of \$253,344.18.

- K. Approval of Payment Application No. 2 (final) to Luigi Ferdinani and Son Cement Company for the 2025 Catch Basin Line Replacement Project M-779 in the amount of \$10,000.00.

- L. New and Renewal Licenses for January 5, 2026

## **6. RECOGNITION OF VISITING ELECTED OFFICIALS**

## **7. BIDS**

- A. Request to award the bid for the 2025 Sewer Lining Project, M-791 to DVM Utilities, Inc. of Sterling Heights, MI for the total amount of \$296,797.00.

## **8. ORDINANCES**

- A. First Reading of proposed Zoning Map Amendments for the City of Oak Park to change the zoning of the property at 13630 Balfour Ave., from R-1, One-Family Dwelling District to R-2, Two-Family Dwelling District.

## **9. CITY MANAGER**

- A. Municipal Services

- 1. Request to approve the 2026 Michigan Humane Animal Sheltering Agreement.

## **10. CALL TO THE AUDIENCE**

Each speaker's remarks are a matter of public record; the speaker, alone, is responsible for his or her comments and the City of Oak Park does not, by permitting such remarks, support, endorse or accept the content, thereof, as being true or accurate. "Any person while being heard at a City Council Meeting may be called to order by the Chair, or any Council Member for failure to be germane to the business of the City, vulgarity, or personal attacks on persons or institutions." There is a three minute time limit per speaker.

## **11. CALL TO THE COUNCIL**

## **12. ADJOURNMENT**

The City of Oak Park will comply with the spirit and intent of the American with Disabilities Act. We will provide support and make reasonable accommodations to assist people with disabilities to access and participate in our programs, facilities and services. Accommodations to participate at a Council Meeting will be made with 7-day prior notice.



**MINUTES  
REGULAR CITY COUNCIL MEETING  
41ST CITY COUNCIL  
OAK PARK, MICHIGAN  
DECEMBER 15, 2025  
7:00 PM**

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**1. CALL TO ORDER**

The meeting was called to order at 7:00 PM by Mayor McClellan in the Council Chambers of City Hall located at 14000 Oak Park Boulevard, Oak Park, MI 48237. (248) 691-7544.

**2. PLEDGE OF ALLEGIANCE**

**3. ROLL CALL**

**PRESENT:** Mayor McClellan, Mayor Pro Tem Edgar, Council Member Radner, Council Member Whitehead, Council Member Crawford

**ABSENT:** None

**OTHERS**

**PRESENT:** City Manager Tungate, City Clerk Norris, City Attorney Krause

**4. APPROVAL OF AGENDA**

Motion by Crawford, seconded by Whitehead, CARRIED, to approve the agenda with the following changes:

**1. Omit Item #7C Barton Malow Brownfield Reimbursement Agreement**

Voice Vote:        Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                      No:        None  
                      Absent:    None

**5. CONSENT AGENDA**

- A. Regular City Council Meeting Minutes for December 1, 2025.  
**CM-12-391-2025**
- B. Special Organizational City Council Meeting Minutes for December 1, 2025.  
**CM-12-392-2025**
- C. Approval of Payment Application No. 4 to Albaugh Masonry Stone & Tile Inc., of Waterford, MI for the Event Hub masonry work in the amount of \$63,000.  
**CM-12-393-2025**
- D. Approval of Pay Application No. 5 (Final) in the amount of \$13,703.46 to Taplin Group, LLC of Kalamazoo, MI for the 2024 Sewer & Catch Basin Cleaning & TV Inspection Project, M-774.  
**CM-12-394-2025**

- E. Payment of an MDOT Invoice for the 2025 Nine Mile Construction Project from Cloverlawn to Greenfield Road M-771 for the total amount of \$125,063.58.  
**CM-12-395-2025**
- F. Payment to OHM Advisors for Construction Engineering (CE) Services on the 2025 Nine Mile Construction Project, from Greenfield to Cloverlawn, in the amount of \$52,514.90.  
**CM-12-396-2025**
- G. Resolution naming David DeCoster, Deputy City Manager / Director of Public Works, as the City of Oak Park Streets Administrator.  
**CM-12-397-2025**
- H. Traffic Safety Board Meeting Minutes for November 19, 2025  
**CM-12-398-2025**
- I. Payment to Stantec for Professional Design Services for Tyler Park in the amount of \$30,555.00.  
**CM-12-399-2025**
- J. Public Safety Activity Summary Report for May 2025  
**CM-12-400-2025**
- K. New and Renewal Licenses for December 15, 2025  
**CM-12-401-2025**

## **6. RECOGNITION OF VISITING ELECTED OFFICIALS**

There were no elected officials present who wished to speak.

## **7. PUBLIC HEARINGS**

- A. Public Hearing to receive comments on the adoption of a Brownfield Plan for the Barton Malow Properties with Parcel ID's: 52-25-32-351-030, 52-25-32-351-031, 52-25-32-351-032 and 52-25-32-351-038 totaling approximately 9.75 acres in the City of Oak Park.

Municipal Services Director Marrone summarized the Brownfield Plan for the Barton Malow properties that will be re-developed and council invited representatives to discuss their planned investment for the city of Oak Park.

Mayor McClellan opened the public hearing at 7:18 p.m. and invited interested audience members to speak. Ken Sherman asked for clarification as to the location of the specific properties that will be developed. The public hearing was closed at 7:21 p.m.

- B. Approval of the Barton Malow Brownfield Plan and Reimbursement Agreement Resolution  
**CM-12-402-2025**

Motion by Radner, seconded by Crawford, CARRIED, to approve the following Barton Malow Brownfield Plan and Reimbursement Agreement Resolution:

RESOLUTION TO APPROVE A BROWNFIELD PLAN AND REIMBURSEMENT AGREEMENT FOR THE BARTON MALOW PROJECT LOCATED AT 12990, 12992, 13000 W. EIGHT MILE ROAD AND PARCEL ID: 52-25-32-351-032 IN THE CITY OF OAK PARK PURSUANT TO AND IN ACCORDANCE WITH THE PROVISIONS OF ACT 381 OF THE PUBLIC ACTS OF THE STATE OF MICHIGAN OF 1996, AS AMENDED

WHEREAS, The Oak Park City Council previously approved a resolution creating the City of

Oak Park Brownfield Redevelopment Authority in accordance with the provisions of the Brownfield Redevelopment Financing Act, Act 381 of Public Acts of the State of Michigan 1996, as amended (the "Act"); and

WHEREAS, The Oak Park City Council supports the redevelopment of environmentally distressed underutilized sites designated as Brownfield; and

WHEREAS, Four (4) parcels of land located at 12990, 12992, 13000 W. Eight Mile Rd. and parcel ID:52-25-32-351-032, have been identified as a "facility" as defined by the Act, all in the City of Oak Park, are referred to herein as the "Property"; and

WHEREAS, A Brownfield Redevelopment Plan (the "Brownfield Plan") has been prepared in accordance with the Brownfield Redevelopment Financing Act, Act 381 of the Public Acts of the State of Michigan of 1996, as amended (the "Act"), to restore the economic viability of the Property; and

WHEREAS, The Oak Park Brownfield Redevelopment Authority (the "Authority"), on December 2nd, 2025, voted to recommend that the Oak Park City Council approve the Brownfield Plan for the redevelopment of the Property; and

WHEREAS, The Oak Park City Council held a Public Hearing on December 15, 2025 to receive comments on the Brownfield Plan pursuant to the Act; and

WHEREAS, The Oak Park City Council has made the following determinations and findings:

- A. The Brownfield Plan constitutes a public purpose under the Act;
- B. The Brownfield Plan meets the requirements for a Brownfield Plan as set forth in Section 13 of the Act;
- C. The costs of the eligible activities proposed in the Brownfield Plan are reasonable and necessary to carry out the purposes of the Act;
- D. The amount of captured taxable value estimated to result from adoption of the Brownfield Plan is reasonable.

WHEREAS, In accordance with Section 13 of the Act, the Brownfield Plan provides for capture by the Authority of Tax Increment Revenues generated by the Property to reimburse the costs of Eligible Activities as defined by Section 2(m) of the Act and identified in the Brownfield Plan; and

WHEREAS, The Brownfield Plan provides for capture by the Authority of Tax Increment Revenues to reimburse the Authority's administrative expenses associated with the Property, and to establish a Local Brownfield Revolving Fund (LBRF) in accordance with Section 8 of the Act; and

WHEREAS, A Reimbursement Agreement has been prepared which sets forth the terms of reimbursement from Tax Increment Revenues generated by the Property under the Brownfield Plan;

NOW THEREFORE BE IT RESOLVED, Pursuant to and in accordance with the provisions of Section 14 of the Act, the Brownfield Plan is hereby approved in the form attached as Exhibit A to this Resolution; and

BE IT FURTHER RESOLVED, That the Reimbursement Agreement is hereby approved in the form attached as Exhibit B to this Resolution.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

The Barton Malow Brownfield Redevelopment Project calls for the redevelopment of the sites commonly known as 12990, 12992, 13000 W. Eight Mile Rd. and Parcel ID 52-25-32-351-032. The site comprises four (4) parcels of land identified as Parcel ID's: 52-25-32-351-030, 52-25-32-351-031, 52-25-32-351-032 and 52-25-32-351-038 totaling approximately 9.75 acres in the City of Oak Park. The parcels currently have three buildings which will be demolished on the site to prepare for a new \$28 million Barton Malow Field Services Building that will encompass a total of 55,943 square feet, consisting of 11,125 square feet of office space and 44,818 square feet of warehouse space. SME conducted environmental investigations and classified the parcels as a "facility" or "contiguous to a facility", as defined in Part 201 of the Natural Resources and Environmental Protection Act (P.A. 451 of 1994, as amended). A number of eligible and non-eligible activities were identified in the environmental investigation that must be addressed to demolish the existing buildings and remediate the site to prepare for the new development. The project will also create an additional 20-25 full-time positions and retain 50 full-time positions.

- C. Approval of the Barton Malow Brownfield Reimbursement Agreement - **(Removed from the agenda)**

## 8. ACCOUNTING REPORTS

- A. Approval for payment of invoice #656512 submitted by Garan, Lucow, Miller, PC for legal services in the amount of \$15,166.66.  
**CM-12-403-2025**

Motion by Edgar, seconded by Radner, CARRIED, to approve payment of invoice #656512 submitted by Garan, Lucow, Miller, PC for legal services in the amount of \$15,166.66.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

- B. Approval for payment of invoice#16900 submitted by Shifman Fournier for legal services retainer for January 1, 2026 - March 31, 2026 in the total amount of \$20,000.00.  
**CM-12-404-2025**

Motion by Crawford, seconded by Whitehead, CARRIED, to approve payment of invoice #16900 submitted by Shifman Fournier for legal services retainer for January 1, 2026 - March 31, 2026, in the total amount of \$20,000.00.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

- C. Approval for payment of an invoice #1821 submitted by Dizik, Faber, Kaplan for legal services in the total amount of \$6,500.

**CM-12-405-2025**

Motion by Radner, seconded by Whitehead, CARRIED, to approve payment of invoice #1821 submitted by Dizik, Faber, Kaplan for legal services in the total amount of \$6,500.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

**9. BIDS - NONE**

**10. CITY MANAGER**

A. Administration

1. Request to award the Tyler Park Asphalt Paving & Site Concrete Bid to Asphalt Specialists, Inc. of Pontiac, MI in the amount of \$71,000.

**CM-12-406-2025**

Motion by Radner, seconded by Whitehead, CARRIED, to award the Tyler Park Asphalt Paving & Site Concrete Bid to Asphalt Specialists, Inc. of Pontiac, MI in the amount of \$71,000.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

Following the public bid opening held on Thursday, November 13, 2025 at 1:30 p.m., during which sealed bids for the Tyler Park project were received, opened, and tabulated in the presence of representatives from the City of Oak Park, Stantec, McCarthy & Smith, Inc., and interested bidders, the City recommends awarding the Tyler Park asphalt paving and site concrete contract to Asphalt Paving for an amount not to exceed \$71,000. This award is based on the competitive bid process and reviewed bid results.

2. Request to award the Tyler Park Earthwork & Site Utility Bid to Jacklyn Contracting of Dryden, MI in the amount of \$329,000.

**CM-12-407-2025**

Motion by Radner, seconded by Whitehead, CARRIED, to award the Tyler Park Earthwork & Site Utility Bid to Jacklyn Contracting of Dryden, MI in the amount of \$329,000.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

Following the public bid opening held on Thursday, November 13, 2025, at 1:30 p.m., during which sealed bids for the Tyler Park project were received, opened, and tabulated in the presence of representatives from the City of Oak Park, Stantec, McCarthy & Smith, Inc., and interested bidders, the City recommends awarding the Tyler Park Earthwork and Site Utilities contract to Jacklyn Contracting of Dryden, Michigan, for an amount not to exceed \$329,000. This award is based on the competitive bid process and the reviewed bid results

3. Request to Approve a Construction Management Services agreement with McCarthy & Smith Inc. in the amount of \$93,000.

**CM-12-408-2025**

Motion by Edgar, seconded by Radner, CARRIED, to approve a construction management services agreement with McCarthy & Smith Inc. in the amount of \$93,000.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

The City of Oak Park is exploring the opportunity to enter into a Construction Management Services Agreement with McCarthy & Smith, Inc. This agreement would mirror the existing contract currently in place with Berkley Schools, ensuring consistency in scope, terms, and expectations for the Tyler Park improvement Project.

B. Municipal Services

1. Approval of a Barton Malow Brownfield Grant Application

**CM-12-409-2025**

Motion by Radner, seconded by Crawford, CARRIED, to approve the following Barton Malow Brownfield Grant Application.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

The Municipal Services Department has been working with Barton Malow to assist with their development of the properties at 12990, 12992, and 13000 Eight Mile Road to demolish, remediate and construct a new 51,000 square foot building for their Field Services Operations. They received site plan approval for the site in September 2025 and they have plans to begin demolition and remediation in early 2026 with construction to follow immediately afterward. Barton Malow hired SME to perform environmental testing and contamination was found on the site. With these added extra costs and the cost for demolition activities, we recommend submitting an application in the amount of \$1,000,000 for a Brownfield Grant to EGLE. The project will demolish 3 existing industrial buildings, site remediation, and the construction of a new field services building. The project is a \$28 million investment and will retain 50 full-time positions and create an additional 20-25 positions. The Brownfield Authority was presented the project in December 2025 and supported the application for the Brownfield Grant.

2. Request to approve OPCIA Facade Grant, for Lifestyle Athletics Health Fitness, located at 10820 W 9 Mile Road

**CM-12-410-2025**

Motion by Edgar, seconded by Radner, CARRIED, to approve OPCIA Facade Grant, for Lifestyle Athletics Health Fitness, located at 10820 W 9 Mile Road for a an amount not to exceed \$1,891.82.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

The Corridor Improvement Authority has received an application for a Façade Improvement Grant from business owner Myia Burgess, owner of Lifestyle Athletics Health Fitness at 10820 W 9 Mile Road. The project consists of a new lighted sign on the front of the building. The project specifications have met city guidelines for the program. The CIA board has reviewed the grant application and recommends approving the façade grant for a maximum amount of \$1,891.82.

3. Approval of Pay Application No. 4 and Change Order No. 2 for the Eleven Mile Road Alleys & Parking Lot Reconfiguration Project, M-694 in the amount of \$626,212.35 and \$64,542.66 respectively.  
**CM-12-411-2025**

Motion by Radner, seconded by Whitehead, CARRIED, to approve Pay Application No. 4 and Change Order No. 2 for the Eleven Mile Road Alleys & Parking Lot Reconfiguration Project, M-694 in the amount of \$626,212.35 and \$64,542.66 respectively.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

Municipal Services Director Marrone summarized Pay Application No. 4 and Change Order No. 2 for the Eleven Mile Road Alleys & Parking Lot Reconfiguration Project, M-694, by Warren Contractors & Development of Shelby Twp., MI for the amount of \$626,212.35 and \$64,542.66 respectively. This project replaced the pavement in the alley and parking lots behind the businesses between Tulare and Gardner, just south of Eleven Mile and adds place making elements. This project is now approximately 90% complete.

C. Department of Public Works

1. Approval of Payment Application No. 6 and Change Order No. 4 for the Event Hub Project in the amounts of \$820,398.26 and \$0.00 respectively.  
**CM-12-412-2025**

Motion by Radner, seconded by Whitehead, CARRIED, to approve Payment Application No. 6 and Change Order No. 4 for the Event Hub Project in the amounts of \$820,398.26 and \$0.00 respectively.

Roll Call Vote:    Yes:        McClellan, Edgar, Radner, Whitehead, Crawford  
                         No:        None  
                         Absent:    None

Deputy City Manager Decoster summarized Payment Application No. 6 and Change Order No. 4 for the Event Hub Project. The Construction Manager, Architect, and City Administration have approved this payment. The Change Order is for construction / field changes associated with the project. Our Construction Manager, Frank Rewold & Sons, Inc. (FRS), will disperse these funds to the various contractors. This payment is for the period ending November 30, 2025. The masonry and carpenter contractors are continuing their work to get the Event Hub enclosed for Winter. The project is approximately 50% complete.

D. Elevate Oak Park

1. Event Hub Progress Report

Deputy City Manager Decoster provided an update on the Event Hub project and indicated that everything is on schedule for possible completion in Summer 2026.

## **11. CALL TO THE AUDIENCE**

Dana Braxton, 21600 Kipling, spoke about her concerns with the possible construction of a new data center in Southfield.

Don Jones, 24660 Westhampton, shared information about the Labor Day event he is planning at the Event hub.

## **12. CALL TO THE COUNCIL**

## **13. ADJOURNMENT**

There being no further business to come before the City Council, Mayor McClellan adjourned the meeting at 8:13 PM.

T. Edwin Norris, City Clerk



## CITY OF OAK PARK, MI STAFF REPORT

### 5.B

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Request to approve Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Landscape Maintenance Contract to Capital Landscapes of Oak Park, MI in the amount of \$15,793.90 and (\$6,867.96), respectively.

**DEPARTMENT:** Department of Public Works

**FROM:** Dave DeCoster, DPW Director

**SUMMARY:** Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Landscape Maintenance Contract.

**FINANCIAL STATEMENT:** Attached is Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Landscape Maintenance Contract. This contract maintains the landscape beds along Nine Mile, Nine Mile and Coolidge, City Complex, DPW, as well as the city welcome signs.

**RECOMMENDED ACTION:** It is recommended that Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Landscape Maintenance Contract to Capital Landscapes of Oak Park, MI be approved in the amounts of \$15,793.90 and (\$6,867.96), respectively. Funding is available in the Major Streets (202-18.479-801), Shepherd Park (101-18.443-801), and Other Parks (101-18.444-801) funds for this expenditure.

**EXHIBITS:**

1. Pay Application No. 6 (Final)\_Landscape
2. Change Order No. 1\_Landscape

## PAYMENT APPLICATION

**PROJECT:** 2025 Landscape Maintenance Contract

**APPLICATION NO.:** 6 (final)

**OWNER:** City of Oak Park, MI

**PERIOD ENDING:** November 28, 2025

**CONTRACTOR:** Capital Landscapes  
23133 Woodward Avenue #172  
Ferndale, MI, 48220

| ITEM NO. | ITEM DESCRIPTION                                                                         | ORIGINAL BID QUANTITY |       | BID PRICE  | PERIOD QUANTITY | PERIOD AMOUNT | QUANTITY TO DATE | AMOUNT TO DATE |
|----------|------------------------------------------------------------------------------------------|-----------------------|-------|------------|-----------------|---------------|------------------|----------------|
| 1        | Bi-weekly maintenance at the City Complex (See Exhibit A)                                | 14                    | Weeks | \$1,720.00 | 2.00            | \$3,440.00    | 12.10            | \$20,812.00    |
| 2        | Bi-weekly maintenance at the Nine Mile and Coolidge Hwy. Intersection (See Exhibit B)    | 14                    | Weeks | \$698.75   | 2.00            | \$1,397.50    | 12.40            | \$8,664.50     |
| 3        | Bi-weekly maintenance at the city welcome signage and DPW Service Center (See Exhibit C) | 14                    | Weeks | \$209.63   | 2.00            | \$419.25      | 13.00            | \$2,725.13     |
| 4        | Bi-weekly maintenance at the Nine Mile Corridor (See Exhibit D)                          | 14                    | Weeks | \$209.63   | 2.00            | \$419.25      | 12.40            | \$2,599.35     |
| 5        | Fertilizer and Broadleaf application on all turf areas                                   | 4.00                  | Apps  | \$1,383.53 | 1.00            | \$1,383.53    | 2.60             | \$3,597.17     |
| 6        | Mulch placement (3" of Brown Double Shredded Hardwood)                                   | 150                   | CYD   | \$75.25    | 0.00            | \$0.00        | 150.00           | \$11,287.50    |
| 7        | Spring Clean up                                                                          | 1                     | Each  | \$6,987.50 | 0.00            | \$0.00        | 1.00             | \$6,987.50     |
| 8        | Fall Clean up                                                                            | 1                     | Each  | \$8,734.38 | 1.00            | \$8,734.38    | 1.00             | \$8,734.38     |

|                       |                    |                      |                    |
|-----------------------|--------------------|----------------------|--------------------|
| <b>Period Amount:</b> | <b>\$15,793.90</b> | <b>Total Amount:</b> | <b>\$65,407.52</b> |
|-----------------------|--------------------|----------------------|--------------------|

Original Contract Amount: \$72,275.48  
Proposed Change Order No. 1 -\$6,867.96  
**Proposed Contract Amount: \$65,407.52**

**Earnings This Period: \$15,793.90**

Total Earnings to Date: \$65,407.52

Deductions: \$0.00

Payments to Date: \$49,613.62

**Amount Due to Capital Landscapes: \$15,793.90**

Accepted By: Michael Klein  
Michael Klein (Dec 30, 2025 10:54:41 EST)  
Capital Landscapes

Date: 12-30-25

Approved By: Erik Nock  
Erik Nock (Dec 30, 2025 11:56:10 EST)  
Erik Nock, City of Oak Park

Date: 12-30-25

# CHANGE ORDER

PROJECT: 2025 Landscape Maintenance Contract

CHANGE ORDER NO.: 1

OWNER: City of Oak Park, MI

PERIOD ENDING: November 28, 2025

CONTRACTOR: Capital Landscapes  
23133 Woodward Avenue #172  
Ferndale, MI, 48220

## TO THE CONTRACTOR:

You are hereby directed to comply with the changes/extras to the contract documents.  
This change order reflects work completed or anticipated. Documentation supporting these changes is on file with the Department of Public Works

## THE FOLLOWING ITEMS AND OR CONTRACT UNITS PRICES SHALL BE SUBTRACTED FROM THE CONTRACT AMOUNT

| Item No. | Description                                                                              | Original Bid Quantity | Unit  | Unit Price | Decreased Quantity | Quantity to Date | Total Amount |
|----------|------------------------------------------------------------------------------------------|-----------------------|-------|------------|--------------------|------------------|--------------|
| 1        | Bi-weekly maintenance at the City Complex (See Exhibit A)                                | 14                    | Weeks | \$1,720.00 | -1.90              | 12.10            | -\$3,268.00  |
| 2        | Bi-weekly maintenance at the Nine Mile and Coolidge Hwy. Intersection (See Exhibit B)    | 14                    | Weeks | \$698.75   | -1.60              | 12.40            | -\$1,118.00  |
| 3        | Bi-weekly maintenance at the city welcome signage and DPW Service Center (See Exhibit C) | 14                    | Weeks | \$209.63   | -1.00              | 13.00            | -\$209.63    |
| 4        | Bi-weekly maintenance at the Nine Mile Corridor (See Exhibit D)                          | 14                    | Weeks | \$209.63   | -1.60              | 12.40            | -\$335.40    |
| 5        | Fertilizer and Broadleaf application on all turf areas                                   | 4                     | Apps  | \$1,383.53 | -1.40              | 2.60             | -\$1,936.94  |

**TOTALS (\$6,867.96)**

## SUMMARY

|                           |             |
|---------------------------|-------------|
| Total Decreases           | (6,867.96)  |
| Original Contract Amount  | \$72,275.48 |
| Change Order No. 1:       | (6,867.96)  |
| Proposed Contract Amount: | \$65,407.52 |

*Michael Klein*

Michael Klein (Dec 30, 2025 10:54:41 EST)

Capital Landscapes

*Erik Nock*

Erik Nock (Dec 30, 2025 11:56:10 EST)

Erik Nock, City of Oak Park  
City of Oak Park, Michigan

\*Reviewed by and recommended for approval by City Council



## CITY OF OAK PARK, MI STAFF REPORT

### 5.C

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Request to approve Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Lawn Maintenance Contract, to Capital Landscapes of Oak Park, MI in the amounts of \$3,998.92 and (\$27,473.75), respectively.

**DEPARTMENT:** Department of Public Works

**FROM:** Dave DeCoster, DPW Director

**SUMMARY:** Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Lawn Maintenance Contract.

**FINANCIAL STATEMENT:** Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Lawn Maintenance Contract. This contract maintains the lawns in the City's parks, grounds, and rights of way.

**RECOMMENDED ACTION:** It is recommended that Payment Application No. 6 (Final) and Change Order No. 1 for the 2025 Lawn Maintenance Contract, to Capital Landscapes of Oak Park, MI be approved in the amounts of \$3,998.92 and (\$27,473.75), respectively. Funding is available in the Major Streets (202-18.479-801), Local Streets (203-18.479-801), Water / Sewer (592-18.540-930), and Public Works (101-18.443-801 and 101-18.444-801) funds for this expenditure.

**EXHIBITS:**

1. Pay Application No. 6 (Final)\_Lawn
2. Change Order No. 1\_Lawn

# PAYMENT APPLICATION

**PROJECT:** 2025 Lawn Maintenance Contract

**APPLICATION NO.:** 6 (final)

**OWNER:** City of Oak Park, MI

**PERIOD ENDING:** November 28, 2025

**CONTRACTOR:** Capital Landscapes  
23133 Woodward Avenue #172  
Ferndale, MI, 48220

| ITEM NO. | ITEM DESCRIPTION                                           | ORIGINAL BID QUANTITY |       | BID PRICE | PERIOD QUANTITY | PERIOD AMOUNT | QUANTITY TO DATE | AMOUNT TO DATE |
|----------|------------------------------------------------------------|-----------------------|-------|-----------|-----------------|---------------|------------------|----------------|
| 1        | Kingston / Water tank / Gardens (behind parking)           | 28                    | Weeks | \$92.40   | 1.00            | \$92.40       | 20.85            | \$1,926.54     |
| 2        | Harding Tot Lots (Dead end of Harding)                     | 28                    | Weeks | \$21.00   | 1.00            | \$21.00       | 19.00            | \$399.00       |
| 3        | Tyler Park (adjacent to Tyndall School)                    | 28                    | Weeks | \$138.60  | 1.00            | \$138.60      | 19.00            | \$2,633.40     |
| 4        | Lincoln Blvds. (Greenfield Rd. to Coolidge Hwy.)           | 28                    | Weeks | \$112.35  | 1.00            | \$112.35      | 21.00            | \$2,359.35     |
| 5        | Rothstein / Victoria Parks                                 | 28                    | Weeks | \$355.95  | 1.00            | \$355.95      | 20.40            | \$7,261.38     |
| 6        | I-696, 10 Mile Road - Greenfield to Sherman Bridge         | 28                    | Weeks | \$191.10  | 1.00            | \$191.10      | 17.40            | \$3,325.14     |
| 7        | 10 Mile Pump Station area (13641 Ten Mile Rd.)             | 28                    | Weeks | \$60.90   | 1.00            | \$60.90       | 21.00            | \$1,278.90     |
| 8        | Greenfield green belts (north and south of Oak Park Blvd.) | 28                    | Weeks | \$92.40   | 1.00            | \$92.40       | 20.00            | \$1,848.00     |
| 9        | Oak Park Blvds. (Greenfield Rd. to Ferndale)               | 28                    | Weeks | \$243.60  | 2.00            | \$487.20      | 18.00            | \$4,384.80     |
| 10       | City Complex (not including Shepherd Park)                 | 28                    | Weeks | \$619.50  | 1.00            | \$619.50      | 22.45            | \$13,907.78    |
| 11       | Nine Mile and Coolidge Intersection                        | 28                    | Weeks | \$224.70  | 1.00            | \$224.70      | 23.00            | \$5,168.10     |
| 12       | 9 Mile Road green belts (McClain to Rosewood Ave.)         | 28                    | Weeks | \$165.90  | 1.00            | \$165.90      | 18.50            | \$3,069.15     |
| 13       | 9 Mile Road green belts (Greenfield to Church)             | 28                    | Weeks | \$112.35  | 1.00            | \$112.35      | 21.00            | \$2,359.35     |
| 14       | Hubbell / Stratford / Greenbriar Green belts               | 28                    | Weeks | \$106.05  | 1.00            | \$106.05      | 20.25            | \$2,147.51     |
| 15       | 8 Mile Pump Station (20751 Coolidge Hwy.)                  | 28                    | Weeks | \$73.50   | 1.00            | \$73.50       | 21.00            | \$1,543.50     |
| 16       | Oneida Blvds. (Seneca Ave. to Dartmouth Ave.)              | 28                    | Weeks | \$7.35    | 1.00            | \$7.35        | 20.00            | \$147.00       |
| 17       | Majestic Outlot (dead end of Majestic)                     | 28                    | Weeks | \$13.65   | 1.00            | \$13.65       | 19.00            | \$259.35       |
| 18       | Northfield Blvds. (Coolidge Hwy. to Scotia Rd.)            | 28                    | Weeks | \$86.10   | 1.00            | \$86.10       | 21.00            | \$1,808.10     |
| 19       | McClain / Granzon                                          | 28                    | Weeks | \$39.90   | 1.00            | \$39.90       | 19.85            | \$792.02       |
| 20       | Troy Avenue green belt                                     | 28                    | Weeks | \$27.30   | 1.00            | \$27.30       | 19.00            | \$518.70       |
| 21       | Lessenger Park                                             | 28                    | Weeks | \$66.15   | 1.00            | \$66.15       | 20.75            | \$1,372.61     |
| 22       | Albany green belts (Coolidge Hwy. to Rosewood Ave.)        | 28                    | Weeks | \$191.10  | 1.00            | \$191.10      | 21.00            | \$4,013.10     |
| 23       | DPW Service Center (10600 Capital Ave.)                    | 28                    | Weeks | \$27.30   | 1.00            | \$27.30       | 21.00            | \$573.30       |
| 24       | Meyers Blvds. (Capital Ave. to Eight Mile Road)            | 28                    | Weeks | \$53.55   | 1.00            | \$53.55       | 20.00            | \$1,071.00     |
| 25       | Cul-de-Sacs (39 Locations around town)                     | 28                    | Weeks | \$244.65  | 0.80            | \$195.72      | 15.20            | \$3,718.68     |
| 26       | 8 Mile Blvds. / Greenfield to Meyers (Mowing)              | 12                    | Weeks | \$287.28  | 1.00            | \$287.28      | 12.95            | \$3,720.28     |
| 27       | 8 Mile Blvds. / Greenfield to Meyers (Picking)             | 24                    | Weeks | \$149.63  | 1.00            | \$149.63      | 15.00            | \$2,244.38     |

|                       |                   |                      |                    |
|-----------------------|-------------------|----------------------|--------------------|
| <b>Period Amount:</b> | <b>\$3,998.93</b> | <b>Total Amount:</b> | <b>\$73,850.41</b> |
|-----------------------|-------------------|----------------------|--------------------|

Original Contract Amount: \$101,324.16  
Proposed Change Order No. 1 -~~\$27,473.75~~  
Proposed Contract Amount: \$73,850.41

Earnings This Period: \$3,998.93

Total Earnings to Date: \$73,850.41

Deductions: \$0.00

Payments to Date: \$69,851.48

**Amount Due to Capital Landscapes: \$3,998.92**

Accepted By: Michael Klein  
Michael Klein (Dec 30, 2025 10:55:27 EST)  
Capital Landscapes

Date: 12/30/2025

Approved By: Erik Nock  
Erik Nock (Dec 30, 2025 11:58:09 EST)  
Erik Nock, City of Oak Park

Date: 12/30/2025

# CHANGE ORDER

PROJECT: 2025 Lawn Maintenance Contract

CHANGE ORDER NO.: 1

OWNER: City of Oak Park, MI

PERIOD ENDING: November 28, 2025

CONTRACTOR: Capital Landscapes  
23133 Woodward Avenue #172  
Ferndale, MI, 48220

## TO THE CONTRACTOR:

You are hereby directed to comply with the changes/extras to the contract documents.

This change order reflects work completed or anticipated. Documentation supporting these changes is on file with the Department of Public Works

## THE FOLLOWING ITEMS AND OR CONTRACT UNITS PRICES SHALL BE SUBTRACTED FROM THE CONTRACT AMOUNT

| Item No. | Description                                                | Original Bid Quantity | Unit  | Unit Price | Decreased Quantity | Quantity to Date | Total Amount |
|----------|------------------------------------------------------------|-----------------------|-------|------------|--------------------|------------------|--------------|
| 1        | Kingston / Water tank / Gardens (behind parking)           | 28                    | Weeks | \$92.40    | -7.15              | 20.85            | -\$660.66    |
| 2        | Harding Tot Lots (Dead end of Harding)                     | 28                    | Weeks | \$21.00    | -9.00              | 19               | -\$189.00    |
| 3        | Tyler Park (adjacent to Tyndall School)                    | 28                    | Weeks | \$138.60   | -9.00              | 19               | -\$1,247.40  |
| 4        | Lincoln Blvds. (Greenfield Rd. to Coolidge Hwy.)           | 28                    | Weeks | \$112.35   | -7.00              | 21.00            | -\$786.45    |
| 5        | Rothstein / Victoria Parks                                 | 28                    | Weeks | \$355.95   | -7.60              | 20.4             | -\$2,705.22  |
| 6        | I-696, 10 Mile Road - Greenfield to Sherman Bridge         | 28                    | Weeks | \$191.10   | -10.60             | 17.4             | -\$2,025.66  |
| 7        | 10 Mile Pump Station area (13641 Ten Mile Rd.)             | 28                    | Weeks | \$60.90    | -7.00              | 21               | -\$426.30    |
| 8        | Greenfield green belts (north and south of Oak Park Blvd.) | 28                    | Weeks | \$92.40    | -8.00              | 20               | -\$739.20    |
| 9        | Oak Park Blvds. (Greenfield Rd. to Ferndale)               | 28                    | Weeks | \$243.60   | -10.00             | 18               | -\$2,436.00  |
| 10       | City Complex (not including Shepherd Park)                 | 28                    | Weeks | \$619.50   | -5.55              | 22.45            | -\$3,438.23  |
| 11       | Nine Mile and Coolidge Intersection                        | 28                    | Weeks | \$224.70   | -5.00              | 23               | -\$1,123.50  |
| 12       | 9 Mile Road green belts (McClain to Rosewood Ave.)         | 28                    | Weeks | \$165.90   | -9.50              | 18.5             | -\$1,576.05  |
| 13       | 9 Mile Road green belts (Greenfield to Church)             | 28                    | Weeks | \$112.35   | -7.00              | 21               | -\$786.45    |
| 14       | Hubbell / Stratford / Greenbriar Green belts               | 28                    | Weeks | \$106.05   | -7.75              | 20.25            | -\$821.89    |
| 15       | 8 Mile Pump Station (20751 Coolidge Hwy.)                  | 28                    | Weeks | \$73.50    | -7.00              | 21               | -\$514.50    |
| 16       | Oneida Blvds. (Seneca Ave. to Dartmouth Ave.)              | 28                    | Weeks | \$7.35     | -8.00              | 20               | -\$58.80     |
| 17       | Majestic Outlot (dead end of Majestic)                     | 28                    | Weeks | \$13.65    | -9.00              | 19               | -\$122.85    |
| 18       | Northfield Blvds. (Coolidge Hwy. to Scotia Rd.)            | 28                    | Weeks | \$86.10    | -7.00              | 21               | -\$602.70    |
| 19       | McClain / Granzon                                          | 28                    | Weeks | \$39.90    | -8.15              | 19.85            | -\$325.19    |
| 20       | Troy Avenue green belt                                     | 28                    | Weeks | \$27.30    | -9.00              | 19               | -\$245.70    |
| 21       | Lessenger Park                                             | 28                    | Weeks | \$66.15    | -7.25              | 20.75            | -\$479.59    |
| 22       | Albany green belts (Coolidge Hwy. to Rosewood Ave.)        | 28                    | Weeks | \$191.10   | -7.00              | 21               | -\$1,337.70  |
| 23       | DPW Service Center (10600 Capital Ave.)                    | 28                    | Weeks | \$27.30    | -7.00              | 21               | -\$191.10    |
| 24       | Meyers Blvds. (Capital Ave. to Eight Mile Road)            | 28                    | Weeks | \$53.55    | -8.00              | 20               | -\$428.40    |
| 25       | Cul-de-Sacs (39 Locations around town)                     | 28                    | Weeks | \$244.65   | -12.80             | 15.2             | -\$3,131.52  |
| 27       | 8 Mile Blvds. / Greenfield to Meyers (Picking)             | 24                    | Weeks | \$149.63   | -9.00              | 15               | -\$1,346.63  |

**TOTALS (\$27,746.67)**

## THE FOLLOWING ITEMS AND OR CONTRACT UNITS PRICES SHALL BE ADDED FROM THE CONTRACT AMOUNT

| Item No. | Description                                   | Original Bid Quantity | Unit  | Unit Price | Increased Quantity | Quantity to Date | Total Amount |
|----------|-----------------------------------------------|-----------------------|-------|------------|--------------------|------------------|--------------|
| 26       | 8 Mile Blvds. / Greenfield to Meyers (Mowing) | 12                    | Weeks | \$287.28   | 0.95               | 12.95            | \$272.92     |

**TOTALS \$272.92**

### SUMMARY

|                              |               |
|------------------------------|---------------|
| Total Decreases              | (\$27,746.67) |
| Total Increases              | \$272.92      |
| Proposed Change Order No. 1: | (\$27,473.75) |
| Original Contract Amount     | \$101,324.16  |
| Proposed Change Order No. 1: | (\$27,473.75) |
| Proposed Contract Amount:    | \$73,850.40   |

*Michael Klein*

Michael Klein (Dec 30, 2025 10:55:27 EST)

Capital Landscapes

*Erik Nock*

Erik Nock (Dec 30, 2025 11:58:09 EST)

Erik Nock, City of Oak Park  
City of Oak Park, Michigan

\*Reviewed by and recommended for approval by City Council



## CITY OF OAK PARK, MI STAFF REPORT

### 5.D

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Request authorization to bid the 2026 Capital Ave. Rehabilitation Project, M-786

**DEPARTMENT:** Municipal Services

**FROM:** Kim Marrone, Director of Municipal Services

**SUMMARY:** Plans and specifications are complete for the 2026 Capital Ave. Rehabilitation Project, M-786. This project will remove and replace road patches along Capital Avenue, from Coolidge to Rosewood, as well as performing site cleanup and implementing traffic control measures. Work will be completed in four or more phases, and access to all businesses along Capital Avenue will be maintained throughout construction.

**FINANCIAL STATEMENT:** There is \$1,200,000 budgeted in FY 2025/26 for this project. Funding is available in the Major Street Fund (202-18.479-970) for this expenditure.

**RECOMMENDED ACTION:** It is recommended that the request to advertise for bids for the 2026 Capital Ave. Rehabilitation, M-786 be approved. Funding is available in the Major Street Fund (202-18.479-970) for this expenditure.

**EXHIBITS:**

1. Project Map

Estimate: \$1,200,000





## CITY OF OAK PARK, MI STAFF REPORT

### 5.E

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Payment of invoices from OHM Advisors for Engineering Consulting Services for the total amount of \$39,782.70.

**DEPARTMENT:** Municipal Services

**FROM:** Daniel Fairless, Deputy Director of Municipal Services

**SUMMARY:** Attached is a request for payment for invoices from OHM Advisors for the projects as listed below:

**FINANCIAL STATEMENT:**

| <u>Project</u>                          | <u>This Period</u> | <u>Prior Billings</u> | <u>To Date</u>      | <u>Current Contract</u> | <u>Account Number</u> |
|-----------------------------------------|--------------------|-----------------------|---------------------|-------------------------|-----------------------|
| CE - Nine Mile Greenfield to Cloverlawn | \$37,082.70        | \$122,230.40          | \$159,313.10        | \$198,000.00            | 202-18.479-801        |
| Nine Mile & Coolidge Intersection Study | \$2,700.00         | \$62,300.00           | \$65,000.00         | \$65,000.00             | 251-00.000-801        |
| <b>Totals</b>                           | <b>\$39,782.70</b> | <b>\$184,530.40</b>   | <b>\$224,313.10</b> | <b>\$263,000.00</b>     |                       |

**RECOMMENDED ACTION:** It is recommended that the invoices from OHM Advisors be approved for the total amount of \$39,782.70. Funding is available in the above-listed accounts.

**EXHIBITS:**

1. CE - Nine Mile Road
2. Nine Mile & Coolidge Intersection Study

**REMIT TO:**

OHM Advisors

34000 Plymouth Road

Livonia, MI 48150

T 734.522.6711

F 734.522.6427

OHM-Advisors.com

**INVOICE****City of Oak Park****Attn: Kimberly Marrone, Director of Municipal Services****10600 Capital Ave.****Oak Park, MI 48237**

Invoice Date: 12/10/2025

Invoice #: 96648

Project: 0037240013

**Project Name:** CE - Nine Mile Road - Green. to Clover.**For Professional Services Rendered Through: November 29, 2025****Professional Services**

| <i>Description</i>                      | <i>Fee</i>   | <i>Prior Billed</i> | <i>Total Available</i> | <i>Current Billing</i> |
|-----------------------------------------|--------------|---------------------|------------------------|------------------------|
| CE - Nine Mile Road - Green. to Clover. | \$198,000.00 | \$122,230.40        | \$75,769.60            | \$37,082.70            |

**Invoice Total****\$37,082.70**

**REMIT TO:**

OHM Advisors

34000 Plymouth Road

Livonia, MI 48150

T 734.522.6711

F 734.522.6427

OHM-Advisors.com

**INVOICE****City of Oak Park****Attn: Kimberly Marrone, Director of Municipal Services****10600 Capital Ave.****Oak Park, MI 48237**

Invoice Date: 12/10/2025

Invoice #: 96648

Project: 0037240013

**Project Name:** CE - Nine Mile Road - Green. to Clover.*Professional Services*

|                                       | <b>Hours</b>  | <b>Rate</b> | <b>Amount</b>      |
|---------------------------------------|---------------|-------------|--------------------|
| Administrative Support II             | 10.25         | 105.00      | \$1,076.25         |
| Graduate Engineer II                  | 36.00         | 150.00      | \$5,400.00         |
| Principal                             | .25           | 237.00      | \$59.25            |
| Professional Engineer IV              | 20.50         | 205.00      | \$4,202.50         |
| Technician II                         | 70.00         | 123.00      | \$8,610.00         |
| Technician III                        | 9.50          | 140.00      | \$1,330.00         |
| Technician IV                         | 9.00          | 156.00      | \$1,404.00         |
| <b>Professional Services Subtotal</b> | <b>155.50</b> |             | <b>\$22,082.00</b> |

*Outside Consultants*

|                                     | <b>Qty</b>  | <b>Cost Rate</b> | <b>Multiplier</b> | <b>Amount</b>      |
|-------------------------------------|-------------|------------------|-------------------|--------------------|
| G2 Consulting Group LLC 253567      | 1.00        | 6,197.00         | 1.10              | \$6,816.70         |
| G2 Consulting Group LLC 253118      | 1.00        | 7,440.00         | 1.10              | \$8,184.00         |
| <b>Outside Consultants Subtotal</b> | <b>2.00</b> |                  |                   | <b>\$15,000.70</b> |

|                      |               |                    |
|----------------------|---------------|--------------------|
| <b>Total Backup:</b> | <b>155.50</b> | <b>\$37,082.70</b> |
|----------------------|---------------|--------------------|

**REMIT TO:**

OHM Advisors

34000 Plymouth Road

Livonia, MI 48150

T 734.522.6711

F 734.522.6427

OHM-Advisors.com

**INVOICE****City of Oak Park****Attn: Kimberly Marrone, Director of Municipal Services****10600 Capital Ave.****Oak Park, MI 48237**

Invoice Date: 12/10/2025

Invoice #: 96649

Project: 0037250010

**Project Name:** Nine Mile - Coolidge Intersection Study**For Professional Services Rendered Through: November 29, 2025****Fee Services**

|                               | Contract<br>Amount | Percent<br>Complete | Fee<br>Earned      | Prior<br>Billings  | Current<br>Billings |
|-------------------------------|--------------------|---------------------|--------------------|--------------------|---------------------|
| 1 - Project Kick Off          | \$1,000.00         | 100.00%             | \$1,000.00         | \$1,000.00         | \$0.00              |
| 2 - Discovery                 | \$22,000.00        | 100.00%             | \$22,000.00        | \$22,000.00        | \$0.00              |
| 3 - Intersection Alternatives | \$24,000.00        | 100.00%             | \$24,000.00        | \$24,000.00        | \$0.00              |
| 4 - Final Study Report        | \$18,000.00        | 100.00%             | \$18,000.00        | \$15,300.00        | \$2,700.00          |
|                               | <b>\$65,000.00</b> |                     | <b>\$65,000.00</b> | <b>\$62,300.00</b> | <b>\$2,700.00</b>   |

**Invoice Total****\$2,700.00**



## CITY OF OAK PARK, MI STAFF REPORT

### 5.F

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Request authorization to bid the 2026 Joint and Crack Sealing Project, M-788.

**DEPARTMENT:** Municipal Services

**FROM:** Kim Marrone, Director of Municipal Services

**SUMMARY:** Plans and specifications are nearly complete for the 2026 Joint and Crack Sealing Project, M-788. This project will seal the cracks and joints in the areas shown on the attached map.

**FINANCIAL STATEMENT:** This project is budgeted in the Local Streets Fund (203-18-479-970).

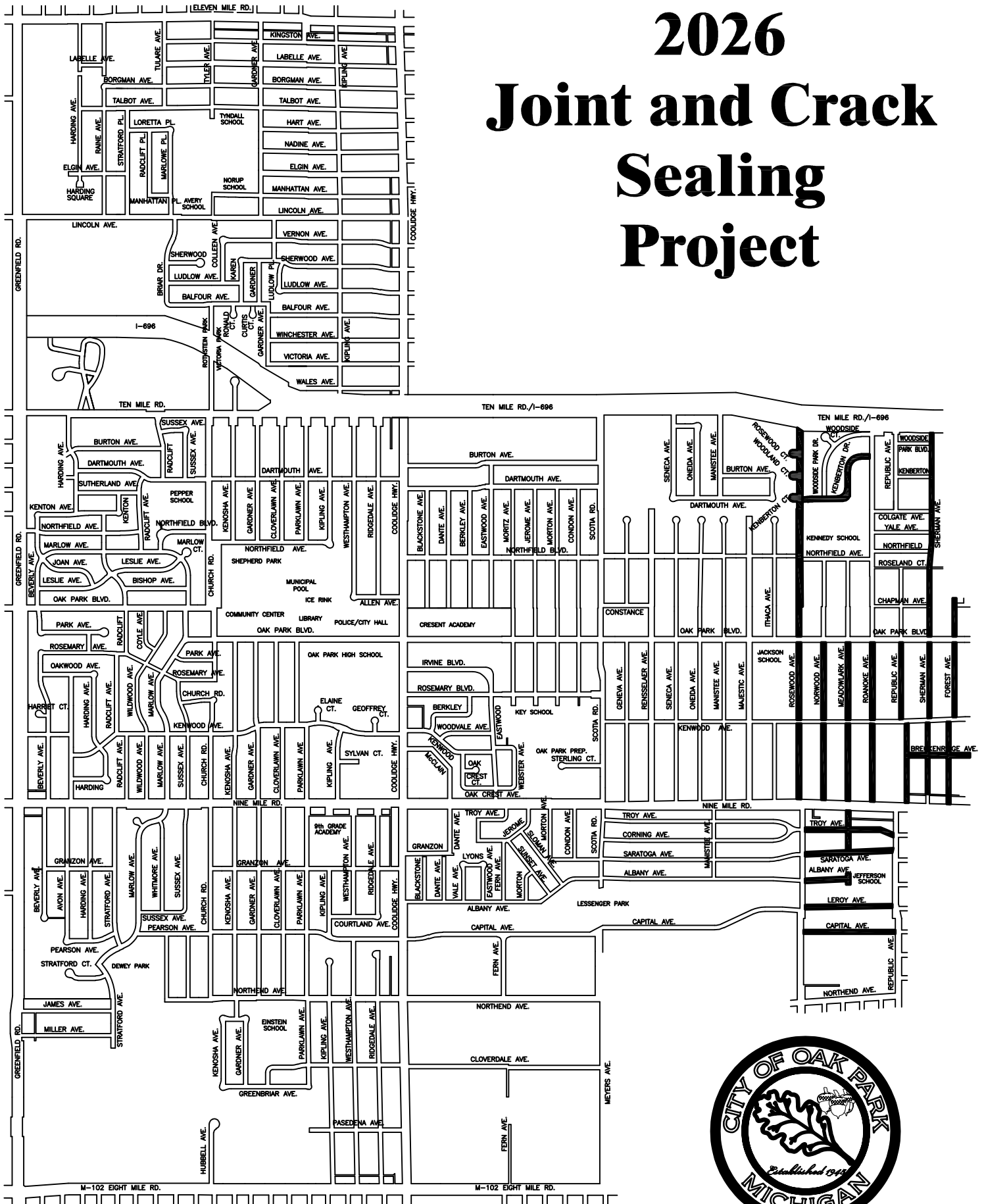
**RECOMMENDED ACTION:** It is recommended that the request to advertise for bids for the 2026 Joint and Crack Sealing Project, M-788 be approved.

**EXHIBITS:**

1. Project Map

# City of Oak Park

## 2026 Joint and Crack Sealing Project





# CITY OF OAK PARK

## BOARDS AND COMMISSIONS

**Mayor**  
Marian McClellan  
**Mayor Pro Tem**  
Julie Edgar  
**Council Members**  
Solomon Radner  
Shaun Whitehead  
Stephanie Crawford  
**City Manager**  
Erik Tungate

**REGULAR MEETING MINUTES**  
**ARTS AND CULTURAL DIVERSITY COMMISSION**  
Thursday, November 13, 2025, | 7 P.M.  
City Council Chambers

**1. CALL TO ORDER**

a. Time: 7:04 pm

**2. ROLL CALL**

a. City Council: Councilmember Julie Edgar   X  

b. Commissioners in Alphabetical Order by Last Name:

|                       |                      |
|-----------------------|----------------------|
| Sarah Davidson        | <u>      X      </u> |
| Dawn Henry            | <u>      X      </u> |
| Rosetta Kincaid       | <u>      X      </u> |
| Terri McQueen         | <u>      X      </u> |
| Florence Piernas      | <u>      A      </u> |
| Michele Stevenson     | <u>      X      </u> |
| Lonnie K. Tabb Upshaw | <u>      A      </u> |
| Carla Wallace         | <u>      X      </u> |
| Donny Wilson          | <u>      A      </u> |

c. City Liaisons: Brittany M Toth       X      

d. Guests:

**3. APPROVAL OF AGENDA**

a. Date Nov. 13, 2025  
Motion                      Carla                      Seconded    Kevin                      Approved    All

**4. APPROVAL OF AMENDED MINUTES**

a. Date Sep. 11, 2025  
Motion    Dawn                      Seconded    Kevin                      Approved    All

**5. CITY UPDATES**

Council member Julie Edgar reported that a mural was approved for the Water Tower Social District. The artist Desiree Kelly that did the mural on the library wall was selected to do this 800–1000-foot mural. Julie shared pictures with us. This project was in conjunction with the Corridor Improvement Group.

**6. MATTERS FOR CONSIDERATION**

**a. Old Business:**

i. Art Gallery update- Brittany shared with us that we have 2 new submissions for City Hall Artwork....1) Paul Kleiner Pictures 2) Internal, Parks and Rec Dept., Handmade Quilts. We are pleased with both and will add them to the 2026 line up.

We were provided with information on how to look at Paul's work online, and we were shown pictures of the quilts that the Rec Dept want to display. For now, John will be the next artist for January.

ii. 2025 Oak Park Film Festival- Everyone commented that it was a success!!

iii. Budget Recap-We had discussion and decided to revisit this along with discussing new members and adding another event for our commission. We discussed having itemized details of spending for 2025 events.

**b. New Business:**

i. Winterfest-January 25, 2026, 1-4pm Brittany shared that we will only have 2 tables, the group did not like that we would like to participate at our normal capacity of 4 tables Brittany will see if we can get more tables. Michele will contact Cindy to see what craft she has in mind for us. Dawn, Michele, Rosetta and Terri will staff the tables.

ii. The meeting minutes for Sep. 11, 2025 will be amended and resubmitted.

**7. COMMISSIONER REPORTS**

Rosetta shared with us that her son and grandson are traveling to Japan.

We discussed having light snacks for our December 11, 2025 meeting. Everyone can bring a dish to pass to observe the holiday season.

**8. ADJOURNMENT**

**a. Next Meeting:** Thursday, Dec. 11, 2025

**b. Time of Adjournment:** 8:13. pm

# The Traffic Safety Board Meeting 11/19/2025

**In attendance:** Aaron Tobin (Chair), Julie Edgar (City Council Member), Kemi Jackson (Secretary), Shar (Sharrista) Brown, Dan Fairless (Deputy Director of Municipal Services), Christopher Venable.

**Absent:** Officer Jason Ginopolis

**Call to Order:** 6:04 PM

**Agenda was approved by unanimous consent.**

**Minutes from 08/20/2025 were approved.**

**New business** - Resident requests:

- a. Coolidge near 11 Mile right turn lane: It was determined that we cannot make any requests on this because it's under Huntington Wood jurisdiction.
- b. Dartmouth from Church to Coolidge parking concern: Recommend signage from Ridgedale to Coolidge that says No Parking 7AM-7PM to City Council.
- c. Dartmouth & Ridgedale ignoring stop sign: Traffic Safety members will observe stop sign speed behavior for recommendations.
- d. 9 Mile & Rosewood left turn green arrow request: Recommend eastbound 9 Mile light to stay red longer allowing westbound traffic more left turn time.
- e. Kenwood between Rosewood & Ithaca parking issue during school dropoff: Concluded to ask Public Safety for a recommendation to solve the parking congestion.
- f. Northend between Parklawn & Cloverlawn Speeding: Request patrol.
- g. Northfield between Church & Parklawn Speeding: Recommend rumble strips.
- h. 9 Mile & Rosewood No Turn On Red Sign ignored: Request the City observation.
- i. Manhattan Speeding during school drop off and pick up: Request more patrol from Public Safety.
- j. Sherman & Kenwood intersection Residents request 4 way stop: Request Traffic Safety members to drive by and observe for next meeting discussion of findings.

**Old Business:**

- a. Stop sign installation at Oak Park Blvd & Southbound Church: Follow up will be made with Public Safety on this request.
- b. Pilot Study for speed bumps and rumble strips: Approved MOTION to Recommend rumble strips at Northfield and Scotia, low, removable speed hump on Kipling and Dartmouth.
- c. Join our official Facebook page "Oak Park MI Traffic Safety Board" (Unofficial) open to residents and business owners in Oak Park.

Matters Arising:

Think of other traffic calming methods. Chevron used in Europe can trick the mind into thinking you are accelerating. Let's consider this method

Orange work cones could possibly slow traffic.

Motion to adjourn meeting was approved at 6:48 PM.

**CITY OF OAK PARK, MICHIGAN  
ZONING BOARD OF APPEALS  
OCTOBER 28, 2025  
MEETING MINUTES**

The meeting was called to order at 7:00 p.m. by Chairperson Huston in the City Council Chambers, 14000 Oak Park Blvd, Oak Park, MI 48237 and roll call was made.

PRESENT:       Commissioner Anderson  
                  Commissioner Kleid  
                  Commissioner Seligson  
                  Chairperson Huston  
                  Commissioner Lebovic  
                  Commissioner Steinberg  
                  Vice Chairperson Brown

ABSENT:         None

OTHERS

PRESENT:       Economic Development & Planning Specialist, Salam Habhab  
                  Deputy City Clerk/Director of Elections, Jo Lynn Williams-Elliott

**3. APPROVAL OF ZONING BOARD OF APPEALS MINUTES OF SEPTEMBER 16, 2025**

**MOTION BY Steinberg SECONDED BY Seligson**, to approve the meeting minutes of September 16, 2025

Vote: Yes: All  
      No: None

**MOTION CARRIED**

**4. COMMUNICATIONS: NONE**

**5. OLD BUSINESS: NONE**

**6. NEW BUSINESS:**

A. CASE NO. 25-09: Pie Sci, 8150 W. Nine Mile Rd.

- i. Article 4, Division 4: Signs, Section 473 Additional Sign Standards requires blade signs to be non-illuminated, no greater than four square feet in size, extending no more than four feet from the facade of the building, and no lower than eight feet above ground level. The applicant proposes to use an illuminated blade sign measuring more than four feet in size.

Public Hearing was opened at 7:03 pm

Jim Gary, the owner of Pie Sci, presented to the board, explaining his request and addressing questions raised by the board.

Public Hearing was closed at 7:05 pm

### STAFF FINDINGS OF FACT

1. The site is 0.09 acre (4,043 square feet) and contains a one-story commercial building.
2. The building comprises two suites occupied by Pie Sci Pizza and Forest Bakery. Pie Sci's suite occupies the majority of the building.
3. The property is a corner lot with frontages on Nine Mile Rd and Forest Ave.
4. The property is zoned B-1, Neighborhood Business District.
5. In 2023, a mural was installed on the secondary building facade facing Forest Ave., enhancing the visual character of the neighborhood.
6. Article 4, Division 4: Signs, Section 473 Additional Sign Standards requires blade signs to be non-illuminated, no greater than four square feet in size, extending no more than four feet from the facade of the building, and no lower than eight feet above ground level.
7. The applicant proposes to install an illuminated blade sign measuring 8.73 square feet (40 inches in diameter) on the corner of the primary building facade (fronting Nine Mile Rd) at the intersection of Nine Mile Rd and Forest Ave. The applicant desires to install the blade sign with two display faces as its primary business sign instead of a wall sign.
8. The zoning ordinance allows businesses in the B-1, Neighborhood Business District to have one (1) wall sign not to exceed 15% of the front facade, a maximum of 120 square feet. For businesses located on a corner lot, one additional sign is allowed on the second front facade, not to exceed 30 square feet. Furthermore, the zoning ordinance allows wall/canopy/awning signs to be illuminated.
9. The applicant proposes to install the blade sign instead of a wall sign, or the additional sign. The proposed size of the blade sign is smaller in size than the wall sign, or the additional sign as permitted by the zoning ordinance.
10. Since the blade sign is proposed to serve as the primary sign for the business, allowing it to be illuminated is reasonable and consistent with the ordinance's intent to ensure visibility and identification of the business.

### STAFF RECOMMENDATIONS

The Economic Development and Planning staff finds that the proposed sign is appropriate in scale, design, and placement relative to the building and surrounding streetscape. The two-sided sign's orientation effectively serves both street frontages, and its illumination is consistent with the standards allowed for primary wall signs. The proposal maintains the visual character of the building, particularly in relation to the existing mural on the Forest Ave. facade

**MOTION BY Kleid, SECONDED BY Steinberg** to approve the request Of Pie Sci, 8150 W. Nine Mile Rd.,

- i. A waiver to allow the proposed blade sign to be illuminated and measuring 8.73 square feet (40 inches in diameter) to serve as the primary sign of the business. Article 4, Division 4: Section 473 Additional Sign Standards of the Zoning Ordinance allows one non-illuminated blade sign, not to exceed 4 square feet in size

Vote: Yes: Anderson, Lebovic, Steinberg, Seligson, Huston, Brown, Kleid  
No: None

**MOTION CARRIED**

**7. ADJOURNMENT:** The meeting was adjourned at 7:07 p.m.

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Jo Lynn Williams-Elliott, Deputy City Clerk



## CITY OF OAK PARK, MI STAFF REPORT

### 5.J

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Approval of Pay Application No. 1 for the 2025-2026 Miscellaneous Concrete Project, M-782 to Mattioli Cement Company of Fenton, MI, in the amount of \$253,344.18.

**DEPARTMENT:** Municipal Services

**FROM:** Kim Marrone, Director of Municipal Services

**SUMMARY:** Attached is Pay Application No. 1 for the 2025-2026 Miscellaneous Concrete Project, M-782 by Mattioli Cement Company of Fenton, MI. This project includes replacing full depth concrete pavement and sidewalk in the areas shown on the attached map. The project is approximately 62% complete.

**FINANCIAL STATEMENT:**

|                                       |                     |
|---------------------------------------|---------------------|
| Original Contract Amount:             | \$450,165.00        |
| Total Earnings to Date:               | \$281,493.53        |
| Less Retainage:                       | \$28,149.35         |
| Net Earned:                           | \$253,344.18        |
| Deductions:                           | \$0.00              |
| Balance:                              | \$253,344.18        |
| Payments to Date:                     | \$0.00              |
| <b>Amount Due to Mattioli Cement:</b> | <b>\$253,344.18</b> |

**RECOMMENDED ACTION:** It is recommended that Pay Application No. 1 for the 2025-2026 Miscellaneous Concrete Project, M-782 by Mattioli Cement Company of Fenton, MI be approved in the amount of \$253,344.18. Funding is available in the Local Streets Fund (203-18-479-970) and the Water and Sewer Fund (592-18-538-970) for this expenditure.

**EXHIBITS:**

1. Pay Application No. 1
2. Project Map

**PAYMENT APPLICATION**

**PROJECT: 2025-2026 MISCELLANEOUS CONCRETE PROJECT**

**JOB NUMBER:** M-782

**OWNER: CITY OF OAK PARK, MICHIGAN**

**APPLICATION NO.:** 1

**CONTRACTOR: MATTIOLI CEMENT COMPANY  
6085 MCGUIRE ROAD  
FENTON, MI 48430**

**PERIOD ENDING:** 11/22/2025

| ITEM | DESCRIPTION                                                           | ORIGINAL<br>BID<br>QUANTITY | UNIT | UNIT<br>PRICE | PERIOD<br>QUANTITY | PERIOD<br>AMOUNT | QUANTITY<br>TO DATE | AMOUNT<br>TO DATE |
|------|-----------------------------------------------------------------------|-----------------------------|------|---------------|--------------------|------------------|---------------------|-------------------|
| 1    | REMOVE CONCRETE PAVEMENT, MODIFIED SP                                 | 4,622                       | SYD  | \$10.00       | 2,922.79           | \$29,227.90      | 2,922.79            | \$29,227.90       |
| 2    | CONCRETE PVMT W/ INT CURB & GUTTER 9" CONCRETE, MODIFIED SP           | 4,500                       | SYD  | \$64.60       | 2,002.10           | \$129,335.66     | 2,002.10            | \$129,335.66      |
| 3    | REMOVAL COOLIDGE CONCRETE PVMT, MODIFIED SP                           | 100                         | SYD  | \$10.00       | 154.06             | \$1,540.60       | 154.06              | \$1,540.60        |
| 4    | COOLIDGE CONCRETE PVMT W/ INT CURB & GUTTER 9" CONCRETE, MODIFIED SP  | 100                         | SYD  | \$72.00       | 154.06             | \$11,092.32      | 154.06              | \$11,092.32       |
| 5    | SIDEWALK CONC. NON-REINF 4" SIDEWALK MOD                              | 500                         | SFT  | \$7.00        | 6,212.39           | \$43,486.73      | 6,212.39            | \$43,486.73       |
| 6    | SIDEWALK CONC. NON-REINF. 6" SIDEWALK/ DRIVE APPROACH MOD.            | 500                         | SFT  | \$7.75        | 2,045.57           | \$15,853.17      | 2,045.57            | \$15,853.17       |
| 7    | CONCRETE PAVEMENT, 24" CURB & GUTTER SECTION NON- REINF. 9" CONC. MOD | 50                          | LFT  | \$39.00       | 33.00              | \$1,287.00       | 33.00               | \$1,287.00        |
| 8    | AGGREGATE BASE UNDER 9" CONC. (3" 21AA CR. LIMESTONE)                 | 4,500                       | SYD  | \$11.00       | 2,156.15           | \$23,717.65      | 2,156.15            | \$23,717.65       |
| 9    | AGGREGATE BASE UNDER 4"& 6" & 9" CONC. (6" 21AA CR LIMESTONE)         | 100                         | SYD  | \$13.00       | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 10   | ADJUST DRAINAGE STRUCTURES                                            | 20                          | EACH | \$225.00      | 12.00              | \$2,700.00       | 12.00               | \$2,700.00        |
| 11   | CAST IN PLACE DETECTABLE/ TACTILE WARNING SURFACE MODIFIED            | 100                         | SFT  | \$26.00       | 40.00              | \$1,040.00       | 40.00               | \$1,040.00        |
| 12   | SANITARY MANHOLE 1040A RAME AND COVER                                 | 5                           | EACH | \$1,200.00    | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 13   | CATCH BASIN 5080M3 6 HOLE FRAME AND COVER                             | 5                           | EACH | \$1,200.00    | 7.00               | \$8,400.00       | 7.00                | \$8,400.00        |
| 14   | MINOR TRAFFIC DEVICES MODIFIED (5% MAX)                               | 1                           | LSUM | \$10,000.00   | 0.50               | \$5,000.00       | 0.50                | \$5,000.00        |
| 15   | COOLIDGE MINOR TRAFFIC DEVICES MODIFIED (5% MAX)                      | 1                           | LSUM | \$1,500.00    | 1.00               | \$1,500.00       | 1.00                | \$1,500.00        |
| 16   | PROJECT CLEAN UP MODIFIED (5% MAX)                                    | 1                           | LSUM | \$6,000.00    | 0.50               | \$3,000.00       | 0.50                | \$3,000.00        |
| 17   | INSPECTION CREW DAYS                                                  | \$320                       | DAY  | 26            | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 18   | CATCH BASIN REPAIR                                                    | \$0                         | LFT  | \$375.00      | 11.50              | \$4,312.50       | 11.50               | \$4,312.50        |

**Period Total Amount: \$281,493.53      Amount to Date: \$281,493.53**

**Original Contract Amount: \$450,165.00**

Earnings This Period: \$281,493.53

Total Earnings to Date: \$281,493.53

Less Retainage: \$28,149.35

Net Earned: \$253,344.18

Deductions: \$0.00

Balance: \$253,344.18

Payments to Date: \$0.00

**AMOUNT DUE MATTIOLI CEMENT COMPANY: \$253,344.18**

Accepted By: *john mattioli*  
John Mattioli (Dec 16, 2025 17:08:20 EST)  
Mattioli Cement Company

Date: 12/16/25

Approved By: *kimberly marrone*  
Kimberly Marrone, Director of Municipal Services  
City of Oak Park, Michigan

Date: 12/16/25

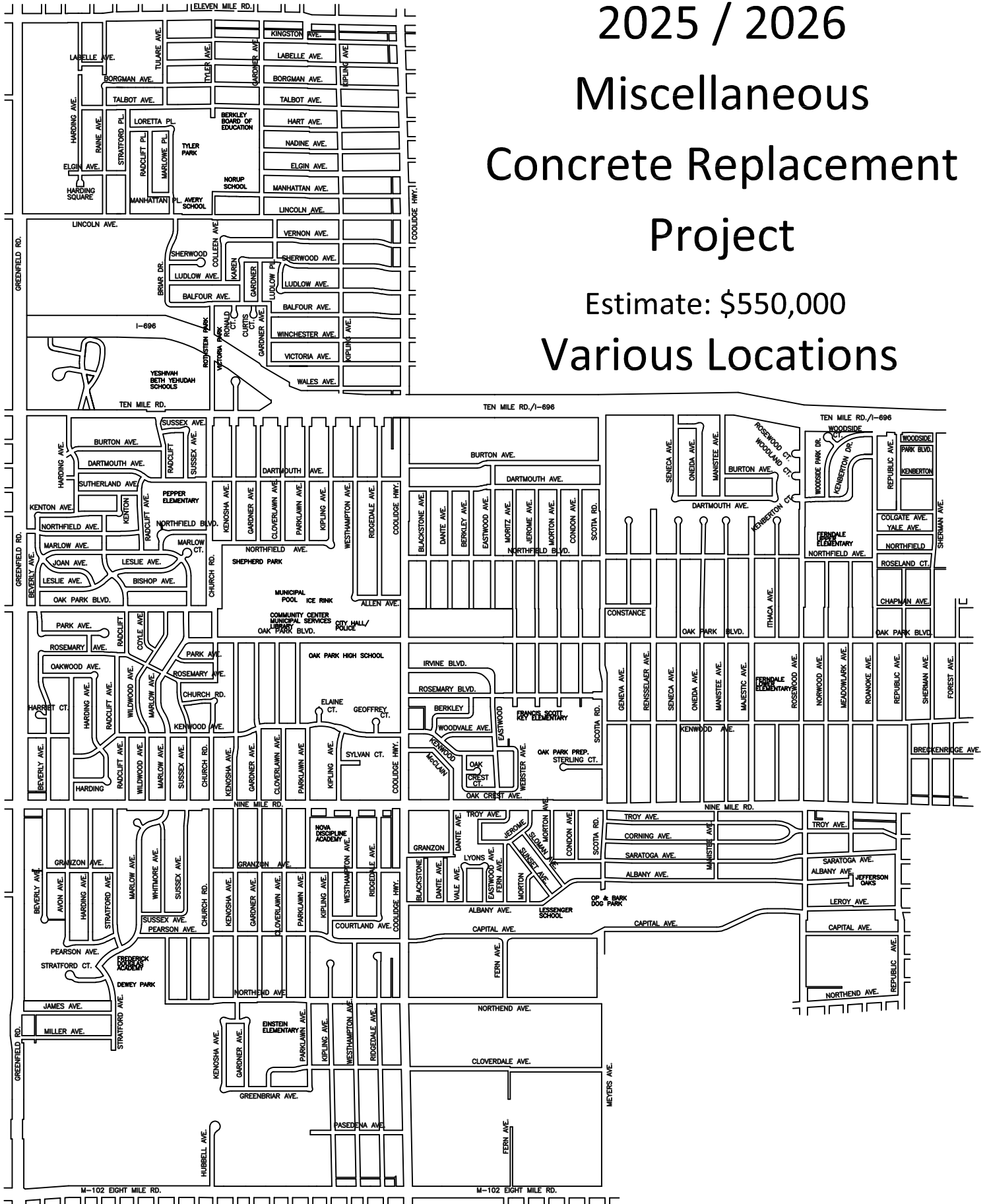
# City of Oak Park

2025 / 2026

## Miscellaneous Concrete Replacement Project

Estimate: \$550,000

Various Locations





## CITY OF OAK PARK, MI STAFF REPORT

**5.K**

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Approval of Payment Application No. 2 (final) to Luigi Ferdinani and Son Cement Company for the 2025 Catch Basin Line Replacement Project M-779 in the amount of \$10,000.00.

**DEPARTMENT:** Municipal Services

**FROM:** Daniel Fairless, Deputy Director of Municipal Services

**SUMMARY:** Attached is Payment Application No. 2 (final) for the 2025 Catch Basin Line Replacement Project, M-779 by Luigi Ferdinandi and Son Cement Co., of Roseville, MI. This project included removing and replacing storm sewers on selected streets in the areas shown on the attached map. The project is now 100% complete.

**FINANCIAL STATEMENT:**

|                                             |                     |
|---------------------------------------------|---------------------|
| Original Contract Amount:                   | \$293,318.62        |
| Change Order No. 1:                         | \$16,459.50         |
| Change Order No. 2:                         | (\$42,126.18)       |
| <b>New Contract Amount:</b>                 | <b>\$267,651.94</b> |
| Total Earnings to Date:                     | \$267,651.94        |
| Less Retainage:                             | \$0.00              |
| Net Earned:                                 | \$267,651.94        |
| Deductions:                                 | \$0.00              |
| Balance:                                    | \$267,651.94        |
| Payments to Date:                           | \$257,651.94        |
| <b>Amount Due Luigi Ferdinandi and Son:</b> | <b>\$10,000.00</b>  |

**RECOMMENDED ACTION:** It is recommended that Pay Application No. 2 (final) for the 2025 Catch Basin Line Replacement Project, M-779 to Luigi Ferdinandi and Son Cement Co. of Roseville, MI be approved in the amount of \$10,000.00. Funding is available in the Water and Sewer Fund (592-18.550-970) for this expenditure.

**EXHIBITS:**

1. Pay Application No. 2 (final)
2. Project Map

PROJECT: 2025 CATCH BASIN LINE REPLACEMENT PROJECT

JOB NUMBER: M-779

OWNER: CITY OF OAK PARK, MICHIGAN

APPLICATION NO.: 2(FINAL)

CONTRACTOR: LUIGI FERDINANDI & SON CEMENT CO.  
16481 COMMON ROAD  
ROSEVILLE, MI 48066

PERIOD ENDING: 10/28/2025

| ITEM | DESCRIPTION                                                  | ORIGINAL<br>BID<br>QUANTITY | UNIT | UNIT<br>PRICE | PERIOD<br>QUANTITY | PERIOD<br>AMOUNT | QUANTITY<br>TO DATE | AMOUNT<br>TO DATE |
|------|--------------------------------------------------------------|-----------------------------|------|---------------|--------------------|------------------|---------------------|-------------------|
| 1    | REMOVE CONCRETE PAVEMENT MODIFIED                            | 1,052                       | SYD  | \$10.00       | 0.00               | \$0.00           | 1,098.59            | \$10,985.90       |
| 2    | CONCRETE PAVEMENT W/INT CURB AND GUTTER 9" CONC. MODIFIED    | 1,012                       | SYD  | \$99.00       | 0.00               | \$0.00           | 1,043.82            | \$103,338.18      |
| 3    | SIDEWALK CONC. NON-REINFORCED 6" SIDEWALK/DRIVE APP MODIFIED | 359                         | SFT  | \$11.98       | 0.00               | \$0.00           | 573.93              | \$6,875.68        |
| 4    | SIDEWALK CONC. NON-REINFORCED 4" SIDEWALK/DRIVE APP MODIFIED | 25                          | SFT  | \$11.60       | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 5    | ADJUSTING DRAINAGE STRUCTURES                                | 43                          | EA   | \$329.19      | 0.00               | \$0.00           | 22.00               | \$7,242.18        |
| 6    | 24" CURB AND GUTTER SECTION 9" CONCRETE NON REINFORCED       | 10                          | LFT  | \$7.00        | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 7    | SEWER REMOVE LESS THAN 24"                                   | 599                         | LFT  | \$20.31       | 0.00               | \$0.00           | 600.00              | \$12,186.00       |
| 8    | SEWER 8" SCHEDULE 40 PVC PIPE TRENCH DETAIL B                | 162                         | LFT  | \$80.27       | 0.00               | \$0.00           | 157.50              | \$12,642.53       |
| 9    | SEWER 10" SCHEDULE 40 PVC PIPE TRENCH DETAIL B               | 390                         | LFT  | \$89.56       | 0.00               | \$0.00           | 392.00              | \$35,107.52       |
| 10   | SEWER 12" SCHEDULE 40 PVC PIPE TRENCH DETAIL B               | 47                          | LFT  | \$102.27      | 0.00               | \$0.00           | 48.50               | \$4,960.10        |
| 11   | AGGREGATE BASE UNDER 9" CONCRETE (6" 21AA CR. LIMESTONE)     | 1,012                       | SYD  | \$24.17       | 0.00               | \$0.00           | 1,031.71            | \$24,936.43       |
| 12   | DRAINAGE STRUCTURE REMOVING MODIFIED                         | 1                           | EA   | \$650.00      | 0.00               | \$0.00           | 1.00                | \$650.00          |
| 13   | DRAINAGE STRUCTURE, 24" INLET MODIFIED                       | 1                           | EA   | \$2,806.67    | 0.00               | \$0.00           | 1.00                | \$2,806.67        |
| 14   | DRAINAGE STRUCTURE, 48" DIAMETER MODIFIED                    | 1                           | EA   | \$4,245.00    | 0.00               | \$0.00           | 1.00                | \$4,245.00        |
| 15   | SANITARY MANHOLE 1040A FRAME AND COVER                       | 8                           | EA   | \$826.38      | 0.00               | \$0.00           | 1.00                | \$826.38          |
| 16   | CATCH BASIN 5080M3 6 HOLE FRAME AND COVER                    | 30                          | EA   | \$724.13      | 0.00               | \$0.00           | 19.00               | \$13,758.47       |
| 17   | SEWER TRAP, 12" AND UNDER                                    | 10                          | EA   | \$539.83      | 0.00               | \$0.00           | 11.00               | \$5,938.13        |
| 18   | SEWER TAP, 12" AND UNDER                                     | 5                           | EA   | \$312.67      | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 19   | 4" OR 6" PVC PIPE WITH BACKFILL                              | 10                          | LFT  | \$72.00       | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 20   | TUCK POINT DRAINAGE STRUCTURE                                | 5                           | EA   | \$258.33      | 0.00               | \$0.00           | 1.00                | \$258.33          |
| 21   | CLASS A SODDING                                              | 81                          | SYD  | \$12.00       | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 22   | CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE             | 50                          | SFT  | \$31.33       | 0.00               | \$0.00           | 10.00               | \$313.30          |
| 23   | MOBILIZATION, 5% MAX                                         | 1                           | LSUM | \$6,000.00    | 0.00               | \$0.00           | 1.00                | \$6,000.00        |
| 24   | MINOR TRAFFIC DEVICES, 5% MAX                                | 1                           | LSUM | \$7,908.33    | 0.00               | \$0.00           | 1.00                | \$7,908.33        |
| 25   | PROJECT CLEAN UP, 5% MAX                                     | 1                           | LSUM | \$4,333.33    | 0.00               | \$0.00           | 1.00                | \$4,333.33        |
| 26   | INSPECTION CREW DAYS                                         | \$320                       | DAY  | 27.00         | 0.00               | \$0.00           | 0.00                | \$0.00            |
| 27   | STRUCTURE REPAIR                                             | 0                           | LFT  | \$329.19      | 0.00               | \$0.00           | 5.00                | \$1,645.95        |
| 28   | TOPSOIL AND SEED RESTORATION                                 | 0                           | SYD  | \$9.00        | 0.00               | \$0.00           | 77.06               | \$693.54          |

|                                               |              | Period Total Amount:    | \$0.00 | Amount to Date: | \$267,651.94 |
|-----------------------------------------------|--------------|-------------------------|--------|-----------------|--------------|
|                                               |              | Earnings This Period:   |        | \$0.00          |              |
| Original Contract Amount:                     | \$293,318.62 | Total Earnings to Date: |        | \$267,651.94    |              |
| Change Order No.1:                            | \$16,459.50  |                         |        |                 |              |
| Change Order No.2:                            | -\$42,126.18 |                         |        |                 |              |
| New Contract Amount:                          | \$267,651.94 | Less Retainage:         |        | \$0.00          |              |
|                                               |              | Net Earned:             |        | \$267,651.94    |              |
|                                               |              | Deductions:             |        | \$0.00          |              |
|                                               |              | Balance:                |        | \$267,651.94    |              |
|                                               |              | Payments to Date:       |        | \$257,651.94    |              |
| AMOUNT DUE LUIGI FERDINANDI & SON CEMENTC CO: |              |                         |        | \$10,000.00     |              |

Accepted By: \_\_\_\_\_  
Luigi Ferdinandi & Son Cement Co.

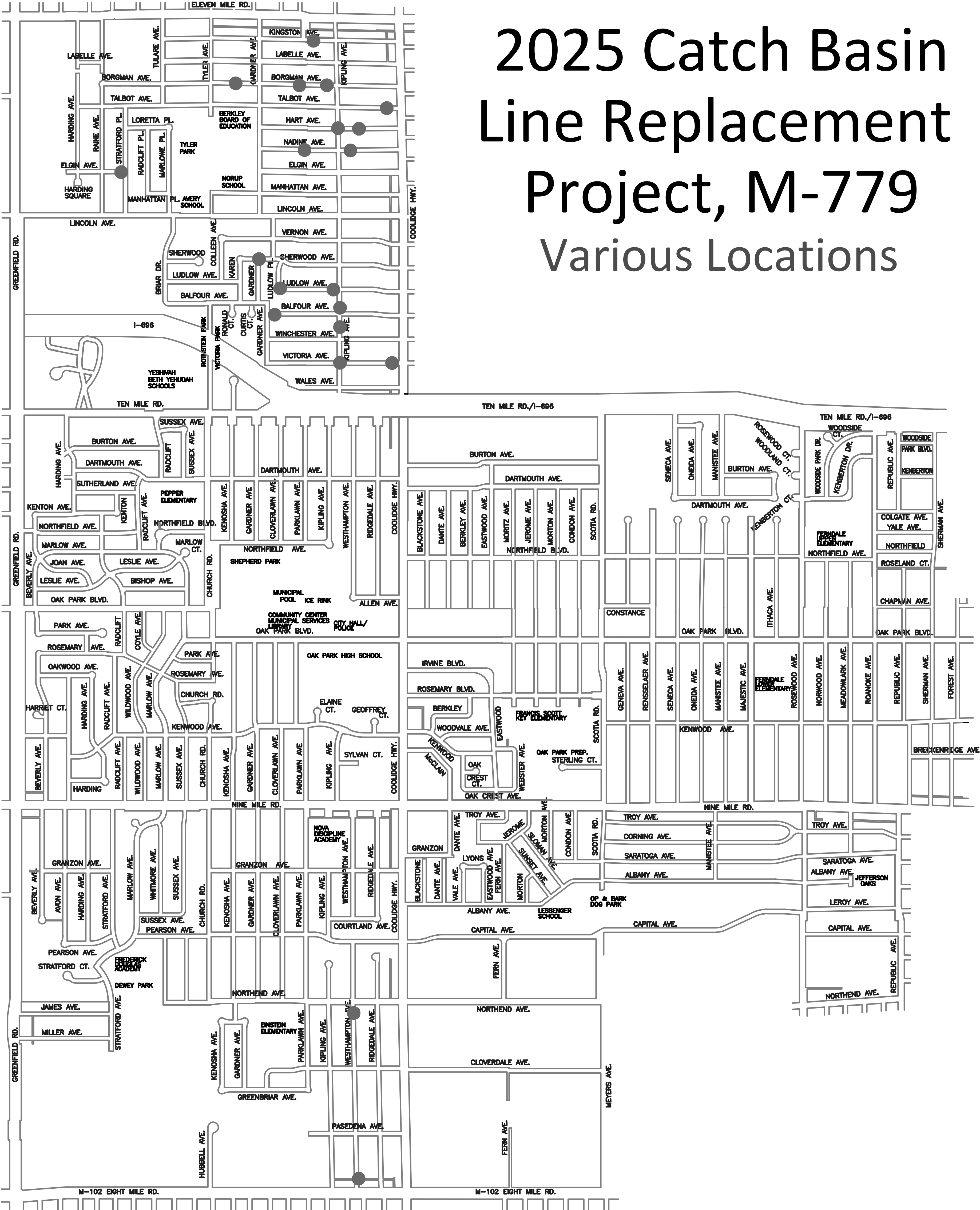
Date: \_\_\_\_\_

Approved By: \_\_\_\_\_  
Kim Marrone, Director of Municipal Services  
City of Oak Park, Michigan

Date: \_\_\_\_\_

# City of Oak Park

## 2025 Catch Basin Line Replacement Project, M-779 Various Locations



**MERCHANT'S LICENSES - JANUARY 5, 2026**  
(Subject to All Departmental Approvals)

| <b>NEW MERCHANT</b>               | <b>ADDRESS</b>       | <b>FEES</b> | <b>BUSINESS TYPE</b> |
|-----------------------------------|----------------------|-------------|----------------------|
| ROCCO'S PIZZA AND ITALIAN KITCHEN | 10100 W NINE MILE RD | \$ 150.00   | RESTAURANT           |
| TOTAL PACKAGE TOWING, LLC         | 21601 REPUBLIC       | \$ 150.00   | TOWING               |

| <b>RENEWALS FOR 2026</b>      | <b>ADDRESS</b>            | <b>FEES</b> | <b>BUSINESS TYPE</b> |
|-------------------------------|---------------------------|-------------|----------------------|
| BENSTON D HARRIS, INC         | 13040 CAPITAL AVE         | \$ 150.00   | MEDICAL              |
| JITSU INC.                    | 13201 CLOVERDALE AVE      | \$ 150.00   | OFFICE               |
| CUSTOM WHEEL SOLUTIONS LLC    | 13220 CLOVERDALE AVE      | \$ 150.00   | WAREHOUSE            |
| LUXURY HOMES                  | 20830 COOLIDGE HWY        | \$ 150.00   | RETAIL               |
| SUNUGAL HAIR BRAIDING         | 22131 COOLIDGE HWY        | \$ 150.00   | SALON                |
| DREAMS OF GOLD JEWELRY CORP   | 24760 COOLIDGE HWY        | \$ 150.00   | JEWELRY              |
| H O TRERICE                   | 12950 W EIGHT MILE RD     | \$ 150.00   | RETAIL               |
| KING NAILS                    | 13710 W EIGHT MILE RD     | \$ 150.00   | NAIL SALON           |
| TUBBY'S                       | 13740 W EIGHT MILE RD     | \$ 150.00   | RESTAURANT           |
| P GLUCK WOODWORKS INC         | 14861 W ELEVEN MILE RD    | \$ 225.00   | WOODWORKING          |
| HJ PAWN AND EXCHANGE LLC      | 21380 GREENFIELD RD       | \$ 150.00   | JEWELRY              |
| WALLYZ GRILL 1 INC            | 25000 GREENFIELD RD       | \$ 150.00   | RESTAURANT           |
| A1 FINGERPRINTS OF MICHIGAN   | 25900 GREENFIELD RD # 109 | \$ 150.00   | OFFICE               |
| GLOBAL WATCH REPAIR LLC       | 25900 GREENFIELD RD # 116 | \$ 150.00   | RETAIL               |
| CHOICE INDEPENDENCE INC       | 25900 GREENFIELD RD # 217 | \$ 150.00   | MEDICAL              |
| OXFORD HILL PARTNERS LLC      | 25900 GREENFIELD RD # 232 | \$ 150.00   | OFFICE               |
| AUTO PRO TECHNICAL RECRUITING | 25900 GREENFIELD RD # 232 | \$ 150.00   | OFFICE               |
| HEALING PATH MASSAGE LLC      | 25900 GREENFIELD RD # 414 | \$ 150.00   | MASSAGE              |
| EDDIE'S GOURMET               | 25920 GREENFIELD RD       | \$ 150.00   | RESTAURANT           |
| WHITE CASTLE                  | 26500 GREENFIELD RD       | \$ 150.00   | RESTAURANT           |
| LUXURY AUTO SPA INC           | 10250 W NINE MILE RD      | \$ 150.00   | CAR WASH             |
| L N S TOBACCO                 | 10700 W NINE MILE RD      | \$ 150.00   | TABACCO              |
| CHINA CITY                    | 13715 W NINE MILE RD      | \$ 150.00   | RESTAURANT           |
| PERLMUTTER-FREIWALD INC       | 13450 NORTHEND AVE        | \$ 150.00   | CONTRACTOR           |



## CITY OF OAK PARK, MI STAFF REPORT

### 7.A

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Request to award the bid for the 2025 Sewer Lining Project, M-791 to DVM Utilities, Inc. of Sterling Heights, MI for the total amount of \$296,797.00.

**DEPARTMENT:** Municipal Services

**FROM:** Kim Marrone, Director of Municipal Services

**SUMMARY:** This project was advertised and fifty-one (51) contractors viewed the documents. On December 15, 2025, four (4) bids were received and opened. The low bidder, DVM Utilities, Inc. of Sterling Heights, MI submitted a bid of \$296,797.00. This project will line selected sewers in the areas shown on the attached map. We have worked with this contractor before and had positive experiences with them.

**FINANCIAL STATEMENT:** This project is budgeted in the Water and Sewer Fund (592-18.550-970) as part of FY 2025/26 budget.

**RECOMMENDED ACTION:** It is recommended City Council award the 2025 Sewer Lining Project, M-791 to DVM Utilities, Inc. of Sterling Heights, MI for the total amount of \$296,797.00. Funding is available in the Water and Sewer Fund (592-18.550-970) for this expenditure

**EXHIBITS:**

1. 2026 Sewer Lining Bid Tab
2. Project Map

BID TABULATION

| 2025 SEWER LINING PROJECT M-791<br><br>BID OPENING DATE: Monday , December 15, 2025 |                                       |           |      | DVM UTILITIES, INC.<br>6045 SIMS RD. SUITE #2<br>STERLING HEIGHTS, MI 48313 |              | PAMAR ENTERPRISES, INC.<br>31604 PAMAR COURT.<br>NEW HAVEN, MI 48048 |              | INSITUFORM 580<br>GODDARD AVE.<br>CHESTERFIELD, MO 63005 |                          |
|-------------------------------------------------------------------------------------|---------------------------------------|-----------|------|-----------------------------------------------------------------------------|--------------|----------------------------------------------------------------------|--------------|----------------------------------------------------------|--------------------------|
| ITEM                                                                                | DESCRIPTION                           | QUANT.    | U/M  | UNIT PRICE                                                                  | AMOUNT       | UNIT PRICE                                                           | AMOUNT       | UNIT PRICE                                               | AMOUNT                   |
| 1                                                                                   | 8" Sewer Pipe Lining                  | 305       | LFT  | \$ 39.00                                                                    | \$ 11,895.00 | \$ 30.00                                                             | \$ 9,150.00  | \$ 50.77                                                 | \$ 15,484.85             |
| 2                                                                                   | 10" Sewer Pipe Lining                 | 100       | LFT  | \$ 71.00                                                                    | \$ 7,100.00  | \$ 44.00                                                             | \$ 4,400.00  | \$ 92.14                                                 | \$ 9,214.00              |
| 3                                                                                   | 12" Sewer Pipe Lining                 | 598       | LFT  | \$ 45.50                                                                    | \$ 27,209.00 | \$ 61.00                                                             | \$ 36,478.00 | \$ 60.74                                                 | \$ 36,322.52             |
| 4                                                                                   | 15" Sewer Pipe Lining                 | 794       | LFT  | \$ 67.00                                                                    | \$ 53,198.00 | \$ 86.00                                                             | \$ 68,284.00 | \$ 88.96                                                 | \$ 70,634.24             |
| 5                                                                                   | 18" Sewer Pipe Lining                 | 690       | LFT  | \$ 73.75                                                                    | \$ 50,887.50 | \$ 89.00                                                             | \$ 61,410.00 | \$ 87.09                                                 | \$ 60,092.10             |
| 6                                                                                   | 21" Sewer Pipe Lining                 | 535       | LFT  | \$ 115.50                                                                   | \$ 61,792.50 | \$ 99.00                                                             | \$ 52,965.00 | \$ 125.27                                                | \$ 67,019.45             |
| 7                                                                                   | 27" Sewer Pipe Lining                 | 165       | LFT  | \$ 157.00                                                                   | \$ 25,905.00 | \$ 132.00                                                            | \$ 21,780.00 | \$ 179.19                                                | \$ 29,566.35             |
| 8                                                                                   | 30" Sewer Pipe Lining                 | 175       | LFT  | \$ 170.00                                                                   | \$ 29,750.00 | \$ 143.00                                                            | \$ 25,025.00 | \$ 181.91                                                | \$ 31,834.25             |
| 9                                                                                   | Reinstating Sewer Lateral             | 80        | EA   | \$ 43.50                                                                    | \$ 3,480.00  | \$ 89.00                                                             | \$ 7,120.00  | \$ 64.18                                                 | \$ 5,134.40              |
| 10                                                                                  | Sewer Lateral Protruding Lead Cutting | 25        | EA   | \$ 150.00                                                                   | \$ 3,750.00  | \$ 89.00                                                             | \$ 2,225.00  | \$ 136.54                                                | \$ 3,413.50              |
| 11                                                                                  | Minor Traffic Device                  | 1         | LSUM | \$ 14,000.00                                                                | \$ 14,000.00 | \$ 3,500.00                                                          | \$ 3,500.00  | \$ 517.61                                                | \$ 517.61                |
| 12                                                                                  | Project Clean Up                      | 1         | LSUM | \$ 1,750.00                                                                 | \$ 1,750.00  | \$ 500.00                                                            | \$ 500.00    | \$ 517.61                                                | \$ 517.61                |
| 13                                                                                  | Inspection Crew Days                  | \$ 320.00 | DAYS | 19.00                                                                       | \$ 6,080.00  | 18.00                                                                | \$ 5,760.00  | 18.00                                                    | \$ 5,760.00              |
| TOTAL COST                                                                          |                                       |           |      | \$                                                                          | 296,797.00   | TOTAL COST                                                           | \$           | 298,597.00                                               | TOTAL COST \$ 335,510.88 |

OTHER BIDDERS  
 CORBY ENERGY SERVICES, INC.                      \$345,685.00

## Various Locations





## CITY OF OAK PARK, MI STAFF REPORT

### 8.A

**AGENDA FOR:** January 5, 2026

**SUBJECT:** First Reading of proposed Zoning Map Amendments for the City of Oak Park to change the zoning of the property at 13630 Balfour Ave., from R-1, One-Family Dwelling District to R-2, Two-Family Dwelling District.

**DEPARTMENT:** Economic and Community Development

**FROM:** Salam Habhab, Economic Development and Planning Specialist, Kim Marrone, Director of Municipal Services

**SUMMARY:** On November 3, 2025, the Planning Commission conducted a Public Hearing on proposed changes to the City of Oak Park Zoning Map. The proposed map amendment would rezone the property at 13630 Balfour Ave. from R-1, One-Family Dwelling District to R-2, Two-Family Dwelling District, consistent with the goals and policies of the City of Oak Park Master Plan.

The applicant proposes to expand the Wilmos & Lillian Schwarcz Education Center, at 25401 Coolidge Hwy., by combining its parcel with the adjacent property at 13630 Balfour Ave. Currently, the property at 13630 Balfour Ave. is zoned R-1 District, while the school property at 25401 Coolidge Hwy. is zoned R-2 District.

Educational institutions are permitted in both R-1 and R-2 Districts by Special Land Use. The rezoning of the property at 13630 Balfour Ave. will establish a single, consistent zoning district once both parcels are combined.

At the meeting, the Planning Commission voted to recommend City Council adoption of the zoning map amendments. The Planning Commission also approved a Special Land Use and Site Plan Review for the proposed addition.

On December 16, 2025, the Zoning Board of Appeals approved variances for the building setbacks, parking lot setbacks, and impervious surface lot coverage to allow the construction of the addition.

**FINANCIAL STATEMENT:** N.A

**RECOMMENDED ACTION:** First Reading of proposed Zoning Map Amendments for the City of Oak Park to change the zoning of the property at 13630 Balfour Ave. from R-1, One-Family Dwelling District to R-2, Two-family Dwelling District.

**EXHIBITS:**

1. RZ2025-11Zoning\_Map\_Amendments\_Ordinance\_CC\_1-5-26
2. RZ2025-11\_25401Coolidge\_R-1\_to\_R-2\_StaffReport
3. SLU\_RZ\_2025-11\_SchwarczEducationCenterAddition\_25401Coolidge\_SitePlan

CITY OF OAK PARK, MICHIGAN

ORDINANCE NO.

AN ORDINANCE TO AMEND ARTICLE 2 DIVISION 1 SECTION 201 AND THE OFFICIAL ZONING MAP CONTAINED THEREIN, BEING PART OF THE CODE OF ORDINANCES OF THE CITY OF OAK PARK, MICHIGAN, BY CHANGING THE USE DISTRICT OF A CERTAIN PARCEL OF LAND CURRENTLY ZONED R-1, ONE-FAMILY DWELLING DISTRICT, TO R-2, TWO-FAMILY DWELLING DISTRICT.

THE CITY OF OAK PARK, MICHIGAN, ORDAINS:

SECTION 1. The Code of Ordinances of the City of Oak Park is hereby amended by changing the use district of the following address and parcel currently zoned R-1, One-Family Dwelling District, according to the City's Official Zoning District Map, Article 2, Division 1, Section 201 to R-2, Two-Family Dwelling District.

Address: 13630 Balfour Ave. Parcel #52-25-19-429-021

Current owner: Cheder Oholei Yosef Yitzchak

SECTION 2. It is hereby ordered that the Official Zoning District Map of the City of Oak Park, as herein amended, be incorporated with this ordinance and be considered a part hereof and be published in connection herewith.

SECTION 3. It is further ordered that from and after the effective date of this ordinance, the above-described parcel of land shall be in the R-2, Two-Family Dwelling District, and be subject to the regulations pertaining to such a district.

SECTION 4. It is further ordered that the rezoning shall expire two years after adoption of the rezoning, unless substantial construction on the approved development of the property pursuant to building and other required permits issued by the city commences within the two-year period and proceeds diligently to completion. Unless extended by the City Council for good cause.

SECTION 5. Notwithstanding the above, if the property owner applies in writing for an extension of a rezoning at least 30 days prior to the expiration date, the City Council may, in its sole discretion, grant an extension of up to one year.

SECTION 6. If a rezoning becomes void, then the zoning classification of the property shall revert to its previous zoning classification. The reversion process shall be initiated by the City Council by requesting that the Planning Commission proceed with consideration of rezoning of the land to its

former zoning classification. The procedure for considering and making this reversionary rezoning shall be the same as applies to all other rezoning requests, including the notice and hearing as required by the Michigan Zoning Enabling Act (Public Act 110 of 2006), and this ordinance. No building or other permits shall be issued or valid during the process described in this subsection.

SECTION 7. Conflicting Provisions Repealed

All ordinances in conflict with the provisions of this ordinance are repealed only to the extent necessary to give this ordinance full force and effect; provided that all other provisions of the Oak Park Code of Ordinances as heretofore amended shall remain in full force and effect.

SECTION 8. Severability

No other portion, paragraph or phrase of the Code of Ordinances of the City of Oak Park, Michigan shall be affected by this ordinance except as to the above sections, and in the event any portion, section or subsection of this ordinance shall be held invalid for any reason, such invalidation shall not be construed to affect the validity of any other part or portion of this ordinance or of the Code of Ordinances of the City of Oak Park, Michigan.

SECTION 9. Effective Date

This ordinance shall be effective thirty (30) days from the date of adoption and shall be published as required by the Charter of the City of Oak Park.

MADE, PASSED AND ADOPTED by the Council of the City of Oak Park on this day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Edwin Norris  
City Clerk

Marian McClellan  
Mayor

I, Edwin Norris, the duly authorized Clerk of the City of Oak Park, Michigan, do hereby certify that the foregoing ordinance was adopted by the Council of the City of Oak Park at its regular meeting held on \_\_\_\_\_, 2026.

Edwin Norris  
City Clerk

First Reading:

Second Reading:  
Adopted:  
Published:



# CITY OF OAK PARK

## DEPARTMENT OF ECONOMIC DEVELOPMENT AND PLANNING

### MEMORANDUM

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TO: Planning Commission Members      DATE: October 30, 2025  
FROM: Kimberly Marrone, Municipal Services      FILE: APLNCOM/RZ 2025-  
Director      11-13630 Balfour- R1  
Salam Habhab, Economic development      to R2.  
& Planning Specialist

SUBJECT      Proposed Rezoning of 13630 Balfour Ave., from R-1, One-Family  
Dwelling District to R-2, Two-Family Dwelling District

#### **PUBLIC HEARING**

A Public Hearing has been scheduled for a Planning Commission meeting on November 3, 2025, to hear public comments on the proposed rezoning of 13630 Balfour Ave, from R-1, One-Family Dwelling District, to R-2, Two-Family Dwelling District.

#### **BACKGROUND**

The applicant wishes to expand the Wilmos & Lillian Schwarcz Education Center, at 25401 Coolidge Hwy, by combining the school's parcel with the adjacent property at 13630 Balfour Ave. Currently, the subject property at 13630 Balfour Ave is zoned R-1, One-Family Dwelling District, while the school property at 25401 Coolidge Hwy is zoned R-2, Two-Family Dwelling District. To facilitate the combination of these parcels into a single parcel, the applicant seeks to rezone the subject property at 13630 Balfour Ave from the R-1 District to the R-2 District, aligning its zoning with that of the school property.

The use of educational institutions is permitted in the R-1 District and R-2 District by Special Land Use, subject to the regulations of Article 5, Division 4 of the zoning ordinance.

The Special Land Use and Site Plan Review request is under the Planning Commission's consideration for approval at tonight's meeting.

#### **CURRENT AND PROPOSED ZONING DISTRICTS**

The City's Master Plan provides the following description for R-1 and R-2 Districts:

**CURRENT: R-1, One-Family Dwelling District**

The R-1 one-family dwelling district is intended to provide an environment of one-family detached dwellings and accessory uses in structures within stable residential neighborhoods.

**PROPOSED: R-2, Two-Family Dwelling District**

The R-2 two-family dwelling district is intended to permit both one-family and two-family dwellings, and compatible accessory uses and structures within stable residential neighborhoods.

**OAK PARK MASTER PLAN, 2020**

The City's Master Plan recognizes the following goals and objectives in the commercial goals and implementation:

**Commercial Goal 5: Update Maps, Zoning, and Ordinances**

**Action 5.2.** Update future land use map.

**CONSIDERATION**

The following considerations were noted during the review of this rezoning:

1. The proposed rezoning is for 13630 Balfour Ave, Parcel ID #52-25-19-429-021.
2. Currently, the property is zoned R-1, One-Family Dwelling District, and improved by a single-family dwelling.
3. The applicant wishes to expand the school building at 25401 Coolidge Hwy and build a 4,780-square-foot addition to the north of the school building, for a total of 11,525 square feet.
4. The addition will include four (4) classrooms on the first floor, accommodating an additional 71 students, and one (1) classroom on the second floor, accommodating an additional 15 students. The second floor will also include an exercise room and office spaces. The existing parking lot will be reduced from 24 parking spaces to 8 spaces, including two (2) ADA parking spaces.
5. The subject property at 13630 Balfour Ave will be improved by an additional parking lot with 30 parking spaces.
6. The applicant intends to combine the school parcel at 25401 Coolidge Hwy and the subject property at 13630 Balfour Ave into a single property.
7. The school property at 25401 Coolidge Hwy is zoned R-2, Two-Family Dwelling District.
8. The use of educational institutions is permitted in both the R-1 and R-2 Districts by Special Land Use, subject to the regulations of Article 5 Division 4 of the zoning ordinance.
9. To facilitate the combination of these parcels, the applicant seeks to rezone the property from the R-1 District to the R-2 District, aligning its zoning with the current R-2 District of the school property.
10. The Special Land Use and Site Plan Review request is under the Planning Commission's consideration for approval at tonight's meeting.
11. The R-1 one-family dwelling district is intended to provide an environment of one-family detached dwellings and accessory uses in structures within stable residential neighborhoods.

12. The R-2 two-family dwelling district is intended to permit both one-family and two-family dwellings, and compatible accessory uses and structures within stable residential neighborhoods.
13. The immediate adjacent district to the west is R-1, to the south is Balfour's right-of-way then R-1 and R-2 districts, to the north is Ludlow's right-of-way then R-1 and R-2 Districts, to the east is Coolidge's right-of-way then the City of Huntington Woods.

| Current Zoning District                                                            |                                                                                     |
|------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| Current Zoning District                                                            | Proposed Zoning Districts                                                           |
| The map shows the current R-1 District in relation to the surrounding properties   | The map shows the proposed R-2 District in relation to the surrounding properties   |
|  |  |
| Zoning District Colors Key                                                         |                                                                                     |
| R-1, One-Family Dwelling District                                                  | R-2, Two-Family Dwelling District                                                   |

| Location | Zoning District                                               | Existing Land Use             |
|----------|---------------------------------------------------------------|-------------------------------|
| North    | Right-of-way of Ludlow Ave then R-1 and R-2 Districts         | Two-family attached dwellings |
| West     | R-1 District                                                  | One-family dwellings          |
| East     | Right-of-way of Coolidge Hwy then the City of Huntington Wood | One-family dwellings          |
| South    | Right-of-way of Balfour Ave then R-1 and R-2 Districts        | Two-family attached dwellings |

## RECOMMENDATION

Based on the above considerations, the Economic Development and Planning staff recommends rezoning the property at 13630 Balfour Ave from the R-1, One-Family Dwelling District to the R-2, Two-Family Dwelling District with the following conditions:

- The rezoning shall expire two years after adoption of the rezoning, unless substantial construction on the approved development of the property pursuant to building and other required permits issued by the city commences within the two-year period and proceeds diligently to completion. Unless extended by the City Council for good cause.
- Notwithstanding the above, if the property owner applies in writing for an extension of a rezoning at least 30 days prior to the expiration date, the City Council may, in its sole discretion, grant an extension of up to one year.
- If a rezoning becomes void, then the zoning classification of the property shall revert to its previous zoning classification. The reversion process shall be initiated by the City Council requesting that the Planning Commission proceed with consideration of rezoning the land to its former zoning classification. The procedure for considering and making this reversionary rezoning shall be the same as applies to all other rezoning requests, including the notice and hearing as required by the Michigan Zoning Enabling Act (Public Act 110 of 2006), and this ordinance. No building or other permits shall be issued or valid during the process described in this subsection.

The proposed property to be rezoned is described as:

13630 Coolidge Hwy, Parcel #52-25-19-429-021:

T1N, R11E, SEC 19 KENWOOD PARK SUB NO 3 LOTS 1096 & 1097, ALSO 1/2 OF VAC ALLEY ADJ TO SAME.

SITE PLANS FOR  
WILMOS & LILLIAN SCHWARCZ  
EDUCATION CENTER ADDITION

PARCEL ID# 25-19-429-021 AND 25-19-429-022

CITY OF OAK PARK,  
OAKLAND COUNTY, MICHIGAN

ADJACENT PROPERTY ZONING

| Direction  | Lot                       | Zoning | Use                       |
|------------|---------------------------|--------|---------------------------|
| North      | Single Family Residential | R-2    | Single Family Residential |
| East       | Single Family Residential | R-1D   | Single Family Residential |
| East       | Two Family Residential    | R-1D   | Two Family Residential    |
| South      | Two Family Residential    | R-2    | Two Family Residential    |
| South      | Single Family Residential | R-1    | Single Family Residential |
| South-West | Single Family Residential | R-1    | Single Family Residential |
| West       | Single Family Residential | R-1    | Single Family Residential |
| North-West | Single Family Residential | R-1    | Single Family Residential |
| North-West | Single Family Residential | R-1    | Single Family Residential |



LOCATION MAP

SCALE: 1" = 1000 FEET

SITE DATA TABLE

|                                |                                              |
|--------------------------------|----------------------------------------------|
| TOTAL SITE AREA                | 0.93 AC. (TOTAL OF COMBINED PARCELS)         |
| EXISTING ZONING CLASSIFICATION | R2 / R1                                      |
| PROPOSED USE                   | SCHOOL, ELEMENTARY (SPECIAL USE APPR. REQ'D) |
| SUBJECT SITE DATA:             |                                              |
| LOT COVERAGE (BUILDING)        | REQUIRED 35% MAX 29%                         |
| % IMPERVIOUS SURFACE AREA      | PROVIDED 77%                                 |
| BUILDING SETBACKS:             | REQUIRED 50 FT 22.7 FT MIN.                  |
| FROM RESIDENTIAL               | PROVIDED 10.1 FT MIN.                        |
| FROM ROAD ROW                  |                                              |
| PARKING SETBACKS:              | REQUIRED 50 FT 2 FT MIN.                     |
| FROM RESIDENTIAL               |                                              |
| BUILDING DATA:                 | REQUIRED 11,525 (EXST. + PROPOSED)           |
| TOTAL BUILDING ENVELOPE        | STORIES 2 MAX 2                              |
| BUILDING HEIGHT                | 27 FT MAX 27 FT                              |
| XXX DENOTES VARIANCE REQUIRED  |                                              |

PARKING CALCULATIONS

|                                                 |                             |
|-------------------------------------------------|-----------------------------|
| REQUIRED PARKING PER ORDINANCE                  |                             |
| SCHOOLS, ELEMENTARY AND MIDDLE SCHOOLS:         |                             |
| 2 SPACES PER CLASSROOM                          |                             |
| EXST. BLDG HAS 8 CLASSROOMS                     |                             |
| PROP. ADD'N HAS 5 CLASSROOMS                    |                             |
| 2 SP. X 13 CLASSROOMS TOTAL                     | = 26 SPACES                 |
| ADA REQUIRED SPACES FOR 26 TO 50 TOTAL SPACES   | = 2 BARRIER FREE SPACES     |
| NOTE: NO ASSEMBLY SPACES EXIST OR ARE PROPOSED. |                             |
| PROVIDED PARKING                                |                             |
| TOTAL SPACES PROPOSED:                          | = 38 SPACES                 |
|                                                 | INCL/ 2 BARRIER FREE SPACES |

SITE DATA & GENERAL NOTES

- PROPERTY IS CURRENTLY ZONED: R-1 (25-19-429-021) & R-2 (25-19-429-022)
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING AND PROPOSED UTILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION.
- PROPERTY TO BE SERVICED BY CONNECTION TO PUBLIC SANITARY AND WATER.
- UNDERGROUND DRY UTILITIES SHALL BE EXTENDED FROM EXISTING LOCATIONS TO SERVICE THIS SITE AS REQUIRED BY UTILITY COMPANIES.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF OAK PARK AND OAKLAND COUNTY.
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) FOR THE LOCATION OF UNDERGROUND UTILITIES AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT AFFECT THIS JOB.
- SITE PLAN USE: EDUCATION
- SITE STORM DRAINAGE TO OUTLET TO UNDERGROUND DETENTION POND TO EXISTING STORM SEWER NETWORK.
- EXISTING PARCELS TO BE COMBINED

LEGAL DESCRIPTIONS:

PARCEL 25-19-429-022 (PER QUIT CLAIM DEED RECORDED IN LIBER , PAGE , OAKLAND COUNTY RECORDS)

LOTS 797 THROUGH 809, INCLUSIVE AND 1/2 OF THE ADJACENT VACATED ALLEY, OF "KENWOOD PARK SUBDIVISION NO. 3", AS RECORDED IN LIBER 37, ON PAGE 30, OF PLATS, OAKLAND COUNTY RECORDS.

PARCEL 25-19-429-021 (PER WARRANTY DEED RECORDED IN LIBER , PAGE , OAKLAND COUNTY RECORDS)

LOT(S) 1097 AND 1096 INCLUDING THE WESTERLY 1/2 OF THE ADJACENT VACATED PUBLIC ALLEY LOCATED AT THE EAST LOT LINE OF LOT 1096 OF "KENWOOD PARK SUBDIVISION NO. 3", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 37 OF PLATS, ON PAGE 30 OF OAKLAND COUNTY RECORDS.

BEARINGS ARE BASED ON "KENWOOD PARK SUBDIVISION NO. 3", AS RECORDED IN LIBER 37, PAGE 30, OAKLAND COUNTY RECORDS.

LIST OF KNOWN VARIANCES NEEDED FOR THE PROPOSED PLAN:

SPECIAL USE REQUIREMENTS FOR EDUCATIONAL INSTITUTIONS:

SEC 557-h-2  
NO BUILDING OTHER THAN A SINGLE-FAMILY RESIDENTIAL DWELLING SHALL BE CLOSER THAN 50 FEET TO ANY PROPERTY LINE AND/OR EXISTING OR PROPOSED PUBLIC RIGHT-OF-WAY.  
\* APPLIES TO NORTH, EAST AND WEST SIDES OF THE PROPOSED ADDITION  
\* EAST, WEST AND SOUTH SIDES OF EXST. BUILDING ARE EXISTING NON-CONFORMING CONDITIONS

SEC 557-h-4  
ALL AREAS FOR STUDENT AND STAFF PARKING SHALL BE SET BACK AT LEAST 50 FEET FROM AN ABUTTING RESIDENTIAL DISTRICT OR RESIDENTIAL USE.  
\* APPLIES TO NORTH, WEST AND SOUTH SIDES OF THE PROPOSED PARKING LOT  
\* NORTH PARKING AREA SETBACK FROM ROW MATCHES EXST. NON-CONFORMING CONDITION.

REQUIRED CONDITIONS FOR ALL RESIDENTIAL DISTRICTS:

SEC 215-d  
THE TOTAL AREA OF ALL IMPERVIOUS SURFACES SHALL NOT EXCEED 70 PERCENT OF THE LOT AREA.  
\* PROPOSED IMPERVIOUS AREA IS 77 PERCENT OF THE LOT AREA.

SITE SHEET INDEX

|      |                                    |
|------|------------------------------------|
| C1.0 | COVER SHEET                        |
| C2.0 | EXISTING CONDITIONS & REMOVALS     |
| C3.0 | SITE LAYOUT PLAN                   |
| C7.0 | DETAILS                            |
| LP-1 | LANDSCAPE PLANTING PLAN            |
| A1   | FIRST FLOOR PLAN                   |
| A2   | SECOND FLOOR PLAN                  |
| B1   | BASEMENT PLAN                      |
| A3   | EAST AND NORTH EXTERIOR ELEVATIONS |
| A4   | WEST AND SOUTH EXTERIOR ELEVATIONS |

LEGEND

|                                | EXISTING | PROPOSED |
|--------------------------------|----------|----------|
| SPOT GRADE                     | x 000.00 | x 000.00 |
| CONTOUR                        | — 000 —  | — 000 —  |
| SPOT GRADE                     |          | x 911.4  |
| DRAINAGE ARROW                 |          | -1.5%    |
| SANITARY SEWER                 | — SAN —  | — SAN —  |
| SANITARY SEWER STRUCTURE LABEL |          | 00       |
| STORM SEWER                    | — ST —   | — ST —   |
| STORM SEWER STRUCTURE LABEL    |          | 00       |
| WATER                          | — W —    | — W —    |
| WATER STRUCTURE LABEL          |          | 00       |
| OVERHEAD                       |          | x        |
| FENCE                          | x        | x        |
| GAS                            | g        | g        |
| ELECTRIC                       | e        | e        |
| DRAINAGE AREA BOUNDARY         |          |          |
| LIMITS OF DISTURBANCE          |          |          |
| RIDGE LINE                     |          |          |
| SWALE LINE                     |          |          |
| LIGHT POLE                     |          |          |
| UTILITY POLE                   |          |          |
| DECIDUOUS TREE                 |          |          |
| GATE VALVE IN WELL             |          |          |

OWNER/DEVELOPER

MENDEL STEIN  
25401 COOLIDGE HWY.  
OAK PARK, MI 48237  
PHONE: (248) 541-1010

LANDSCAPE ARCHITECT

NAGY DEVLIN LAND DESIGN  
31736 WEST CHICAGO AVE.  
LIVONIA, MI 48150  
PHONE: (734) 634-9208

DESIGN / BUILDER

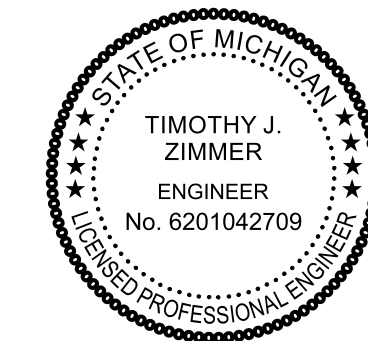
RAND CONSTRUCTION  
1270 RICKETT ROAD  
BRIGHTON, MI 48116  
PHONE: (810) 227-7011

ENGINEER

|                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| LE                                      | LIVINGSTON ENGINEERING                    |
| CIVIL ENGINEERING                       | SURVEYING PLANNING                        |
| 3300 S. OLD U.S. 23, BRIGHTON, MI 48114 |                                           |
| www.livingstoneng.com                   | PHONE: (810) 225-7100 FAX: (810) 225-7699 |

WILMOS & LILLIAN SCHWARCZ  
EDUCATION CENTER ADDITION  
CITY OF OAK PARK  
OAKLAND COUNTY, MICHIGAN  
SITE PLANS

ENGINEER'S SEAL



| REVISIONS | DATE | PROJECT No. | 25125      |
|-----------|------|-------------|------------|
|           |      | SHEET       | C10        |
|           |      | DATE        | 09/11/2025 |

NOT TO BE USED AS CONSTRUCTION DRAWINGS

FILE(C:\Users\lilian\OneDrive\Projects\2025\25125 Ed Center\03 DWG)\Prelim Site Plan\25125 Ed Center & Rem.dwg

**BENCHMARKS  
(NAVD88)**

**BENCHMARK #300**  
ARROW ON HYDRANT  
LOCATED N. OF THE  
PROPERTY  
ELEVATION= 671.10

**BENCHMARK #301**  
ARROW ON HYDRANT  
LOCATED AT THE SE.  
CORNER OF THE  
PROPERTY  
ELEVATION= 671.30

### TOPOGRAPHIC SURVEY NOTES

- TOPOGRAPHIC SURVEY COMPLETED BY LIVINGSTON ENGINEERING ON APRIL 23, 2025.
- NORTHINGS AND EASTINGS SHOWN ON THIS DRAWING ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE INTERNATIONAL FEET (NAD83). ELEVATION BASED UPON NAVD88 DATUM FROM RTK GPS OBSERVATIONS.
- SITE IS LOCATED WITHIN ZONE "X" PER THE FLOOD INSURANCE RATE MAP, MAP NUMBER 2612SC081F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.

### USDA NRCS SOIL SURVEY SOIL TYPES

56A URBAN LAND - BLOUNT-LENAWEE COMPLEX, 0 TO 3 PERCENT SLOPES

### REMOVAL LEGEND

REMOVE EX. PAVEMENT

REMOVE EX. FENCE

REMOVE EX. PIPE

REMOVE ITEM



### LEGEND

- COMMUNICATION BOX
- GAS METER
- GAS SHUTOFF VALVE
- ELECTRIC METER
- GUY WIRE
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- AIR CONDITIONING UNIT
- GATE CONTROL BOX
- CARD READER
- STORM CLEANOUT
- DOWN SPOUT
- CATCH BASIN ROUND
- CATCH BASIN SQUARE
- SANITARY MANHOLE
- WATER SHUTOFF VALVE
- GATE VALVE IN BOX
- GATE VALVE IN WELL
- HYDRANT
- SIGN
- BOLLARD
- FINISHED FLOOR
- FOUND IRON ROD
- FOUND PIPE
- FOUND PK NAIL
- BENCHMARK



CONCRETE

EXISTING OVERHEAD UTILITY LINE

EXISTING U.G. SANITARY SEWER LINE EXCEPT AS NOTED

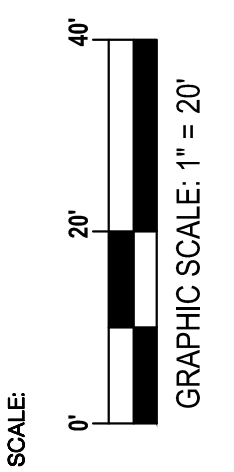
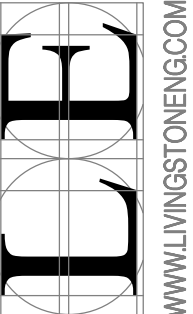
EXISTING U.G. STORM SEWER LINE EXCEPT AS NOTED

| EXISTING STORM SEWER SCHEDULE |                       |     |          |
|-------------------------------|-----------------------|-----|----------|
| STR #                         | TYPE                  | DIA | RIM ELEV |
| cb01                          | CATCH BASIN           |     | 668.20   |
| cb02                          | CATCH BASIN           |     | 667.24   |
| cb03                          | CATCH BASIN (PRECAST) | 4'  | 667.30   |
| cb04                          | CATCH BASIN (PRECAST) | 4'  | 668.77   |
| cb04A                         | BEEHIVE (PRECAST)     | 2'  | 668.25   |
| cb05                          | CATCH BASIN (PRECAST) | 4'  | 668.90   |
| cb05A                         | BEEHIVE (BRICK)       | 2'  | 668.35   |
| cb06                          | CATCH BASIN (BRICK)   | 2'  | 668.46   |
| cb07                          | CATCH BASIN (PRECAST) | 4'  | 668.40   |
| cb08                          | CATCH BASIN (PRECAST) | 2'  | 668.41   |
| cb09                          | BEEHIVE (PRECAST)     | 4'  | 668.24   |
| cb10                          | CATCH BASIN (PRECAST) |     | 667.55   |
| cb11                          | CATCH BASIN (PRECAST) | 4'  | 667.73   |
| cb12                          | CATCH BASIN (BRICK)   | 2'  | 668.95   |
| cb13                          | CATCH BASIN (PRECAST) | 2'  | 668.80   |
| cb14                          | CATCH BASIN (PRECAST) | 2'  | 663.52   |

| EXISTING WATER MAIN SCHEDULE |                             |     |          |
|------------------------------|-----------------------------|-----|----------|
| STR #                        | TYPE                        | DIA | RIM ELEV |
| HYD01                        | HYDRANT                     |     | 671.4    |
| HYD02                        | HYDRANT                     |     | 671.2    |
| GW01                         | GATE VALVE & WELL (BRICK)   | 4'  | 668.55   |
| GW02                         | GATE VALVE & WELL (BRICK)   | 4'  | 668.61   |
| GW03                         | GATE VALVE & WELL (PRECAST) | 6'  | 668.24   |

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**RAND CONSTRUCTION**

**WILMOS & LILLIAN SCHWARZ**  
EDUCATION CENTER ADDITION  
25401 COOLIDGE HIGHWAY  
CITY OF OAK PARK, OKLAHOMA COUNTY, MICHIGAN  
PRELIMINARY SITE PLAN  
EXISTING CONDITIONS AND REMOVALS

| REVISIONS | DATE |
|-----------|------|
|           |      |
|           |      |
|           |      |
|           |      |

JOB NO. 25125  
DRAWN: TIZ/NSA  
CHECKED: TIZ  
APPROVED: TIZ  
DATE: 09/11/2025

C2.0

NOT TO BE USED AS CONSTRUCTION DRAWINGS

FILE:C:\Users\lillian\OneDrive\Projects\2025\25125\DWG\Site Plan\25125 C3.0-Site Layout.dwg

LIST OF KNOWN VARIANCES NEEDED FOR THE PROPOSED PLAN:

SPECIAL USE REQUIREMENTS FOR EDUCATIONAL INSTITUTIONS:

SEC 557-h-2  
NO BUILDING OTHER THAN A SINGLE-FAMILY RESIDENTIAL DWELLING SHALL BE CLOSER THAN 50 FEET TO ANY PROPERTY LINE AND/OR EXISTING OR PROPOSED PUBLIC RIGHT-OF-WAY.  
\* APPLIES TO NORTH, EAST AND WEST SIDES OF THE PROPOSED ADDITION  
\* EAST, WEST AND SOUTH SIDES OF EXST. BUILDING ARE EXISTING NON-CONFORMING CONDITIONS

SEC 557-h-4  
ALL AREAS FOR STUDENT AND STAFF PARKING SHALL BE SET BACK AT LEAST 50 FEET FROM AN ABUTTING RESIDENTIAL DISTRICT OR RESIDENTIAL USE.  
\* APPLIES TO NORTH, WEST AND SOUTH SIDES OF THE PROPOSED PARKING LOT  
\* NORTH PARKING AREA SETBACK FROM ROW MATCHES EXST. NON-CONFORMING CONDITION.

REQUIRED CONDITIONS FOR ALL RESIDENTIAL DISTRICTS:

SEC 215-d  
THE TOTAL AREA OF ALL IMPERVIOUS SURFACES SHALL NOT EXCEED 70 PERCENT OF THE LOT AREA.  
\* PROPOSED IMPERVIOUS AREA IS 77 PERCENT OF THE LOT AREA.

PAVEMENT LEGEND

|                                                                                               |  |
|-----------------------------------------------------------------------------------------------|--|
| PROPOSED STANDARD DUTY ASPHALT PAVEMENT<br>SECTION PER DETAIL, SHEET C7.0                     |  |
| PROPOSED CONCRETE PAVEMENT<br>SIDEWALK SECTION PER DETAIL, SHEET C7.0                         |  |
| PROPOSED CONCRETE PAVEMENT<br>DUMPSTER PAD SECTION<br>DRIVE APPROACH SECTION PER CITY DETAILS |  |

KEYED NOTES:

|                 |                                                                                              |
|-----------------|----------------------------------------------------------------------------------------------|
| <b>SITE-BB</b>  | BUMPER BLOCK, PRECAST CONCRETE<br>SEE DETAIL ON SHEET C7.0                                   |
| <b>SITE-DE</b>  | DUMPSTER ENCLOSURE,<br>SEE DETAIL ON SHEET C7.0                                              |
| <b>CURB-F2</b>  | MDOT F-2 CONCRETE CURB,<br>SEE DETAIL ON SHEET C7.0                                          |
| <b>DOOR-MD</b>  | EXTERIOR DOOR<br>SEE ARCHITECTURAL PLANS                                                     |
| <b>MRKG-BL</b>  | 4" SINGLE SOLID LINES, BLUE                                                                  |
| <b>MRKG-BH</b>  | 4" SINGLE SOLID LINES, BLUE, 45° CROSS HATCH<br>PATTERN (2" O.C.) WITH BORDER, ADA COMPLIANT |
| <b>MRKG-SY</b>  | PAINTED INTERNATIONAL SYMBOL OF<br>ACCESSIBILITY, BLUE ADA COMPLIANT                         |
| <b>MRKG-YL</b>  | 4" SINGLE SOLID LINE, YELLOW                                                                 |
| <b>SIGN-BF</b>  | BARRIER FREE SIGN (R7-8),<br>SEE DETAIL ON SHEET C7.0                                        |
| <b>SIGN-BF*</b> | VAN ACCESSIBLE BARRIER FREE SIGN (R7-8)<br>AND (R7-8o), SEE DETAIL ON SHEET C7.0.            |
| <b>STRM-CB</b>  | CATCH BASIN                                                                                  |
| <b>STRM-DP</b>  | UNDERGROUND DETENTION POND                                                                   |

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PLANNING

SURVEYING

WWW.LIVINGSTONENGINEERING.COM

SCALE

0'

20'

40'

GRAPHIC SCALE: 1" = 20'

EXCEPT AS NOTED

CLIENT

RAND

CONSTRUCTION

WILMOS & LILLIAN SCHWARCZ

EDUCATION CENTER ADDITION

25401 COOLIDGE HIGHWAY

CITY OF OAK PARK, OAKLAND COUNTY, MICHIGAN

PRELIMINARY SITE PLAN

SITE LAYOUT PLAN

DATE

25/12/25

DATE

09/11/2025

REVISIONS

JOB NO.

25125

DRAWN:

TJZ/NSA

CHECKED:

TJZ

APPROVED:

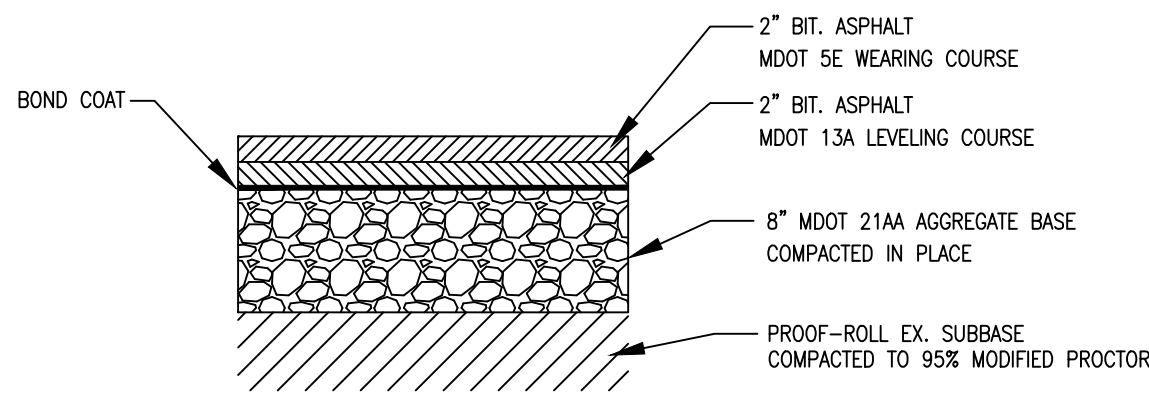
TJZ

DATE:

09/11/2025

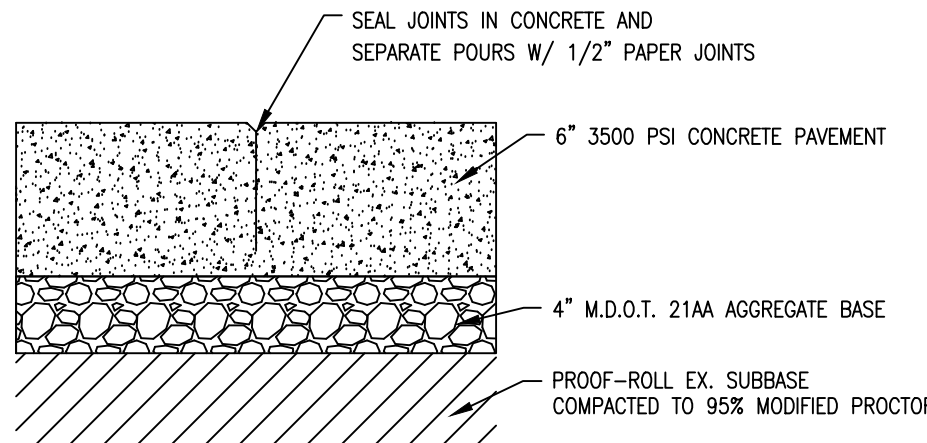
C3.0

Page 55 of 69



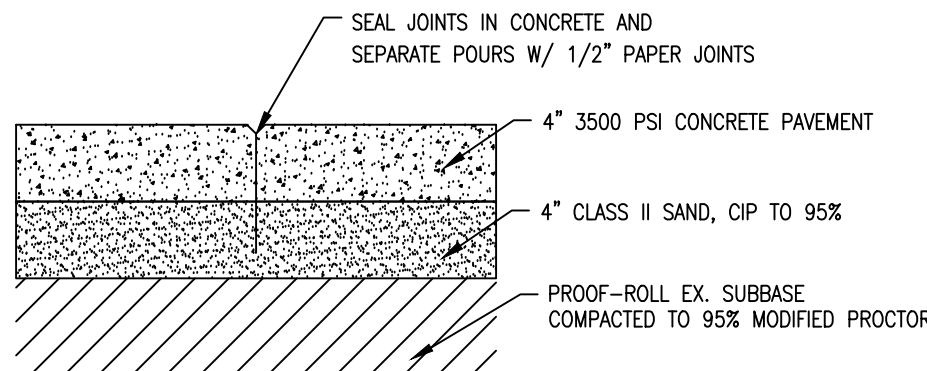
ASPHALT PAVEMENT SECTION

ASPH-SD  
NOT TO SCALE



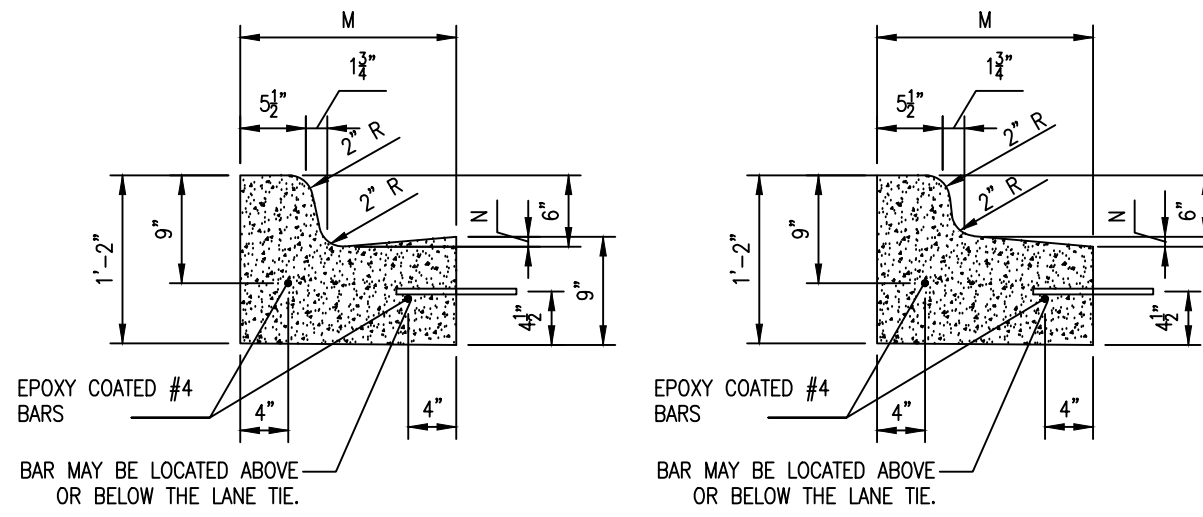
CONCRETE PAVEMENT SECTION

CONC-PV  
NOT TO SCALE



CONCRETE SIDEWALK SECTION

CONC-SW  
NOT TO SCALE



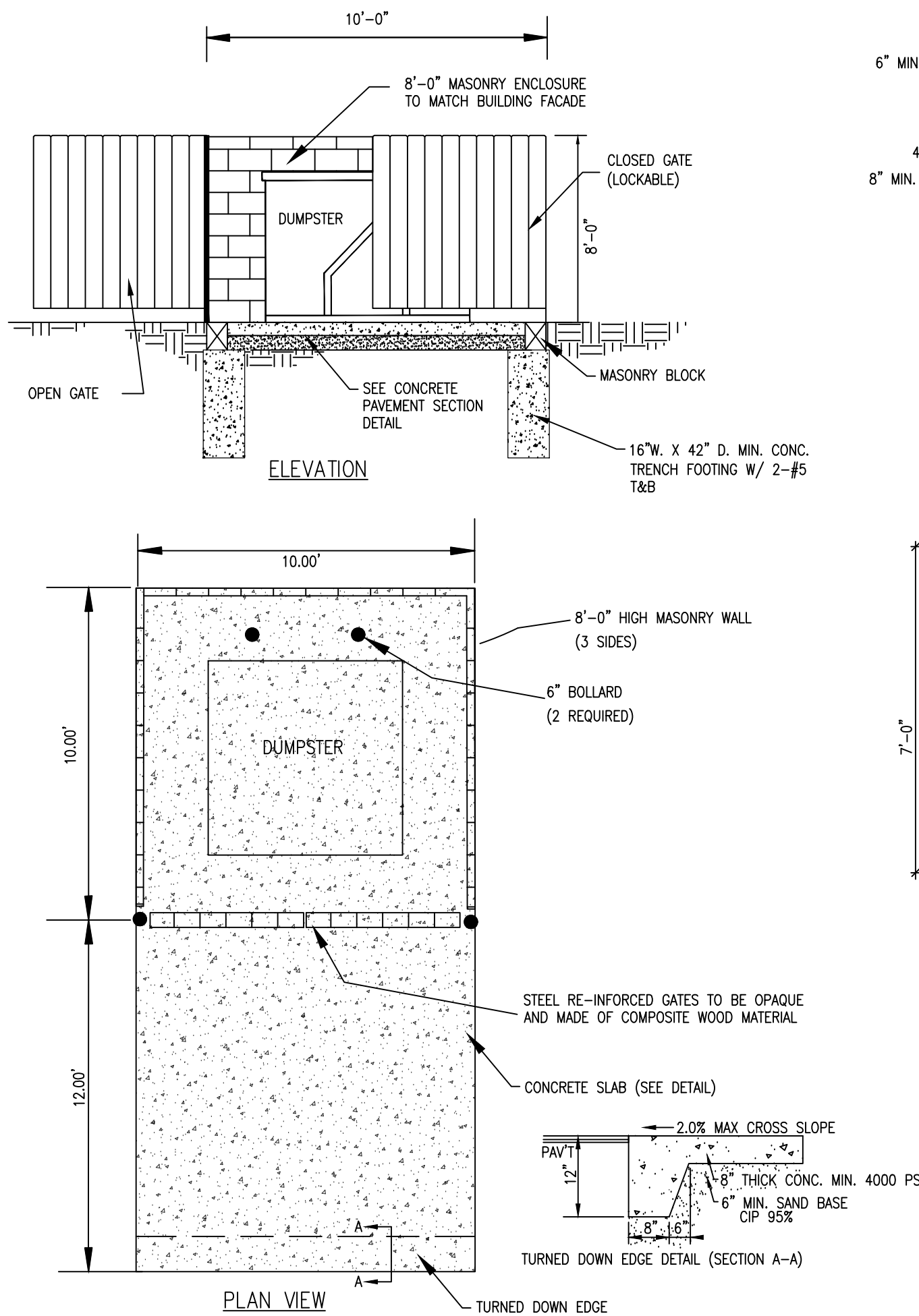
STANDARD CURB

REVERSE CURB

| DETAIL | W     | N      | LANE TIES | CONCRETE CUL. YD. / LIN. FT. |
|--------|-------|--------|-----------|------------------------------|
| F1     | 1'-6" | 7/8"   | AS SHOWN  | 0.0484                       |
| F2     | 1'-6" | 7/8"   | OMITTED   | 0.0484                       |
| F3     | 2'-0" | 1 3/8" | AS SHOWN  | 0.0610                       |
| F4     | 2'-0" | 1 3/8" | OMITTED   | 0.0610                       |
| F5     | 2'-6" | 1 7/8" | AS SHOWN  | 0.0737                       |
| F6     | 2'-6" | 1 7/8" | OMITTED   | 0.0737                       |

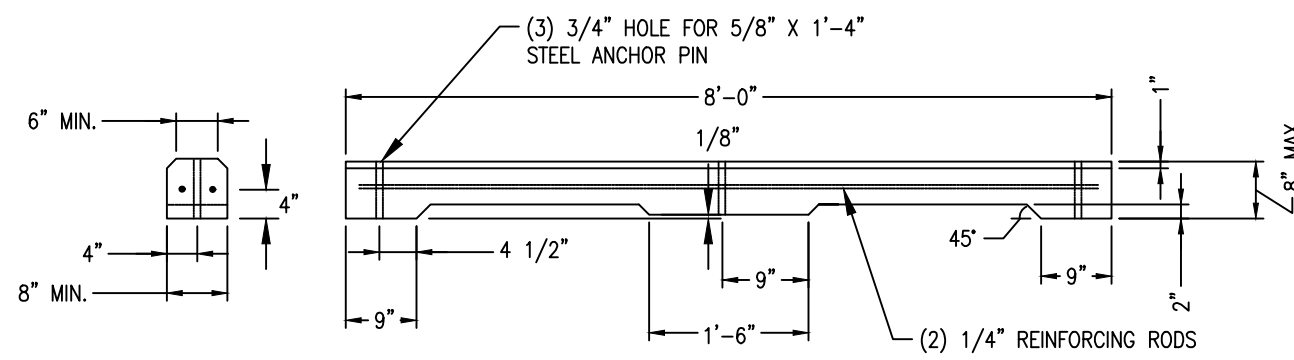
MDOT "F" CONCRETE CURB

CURB-F2  
NOT TO SCALE



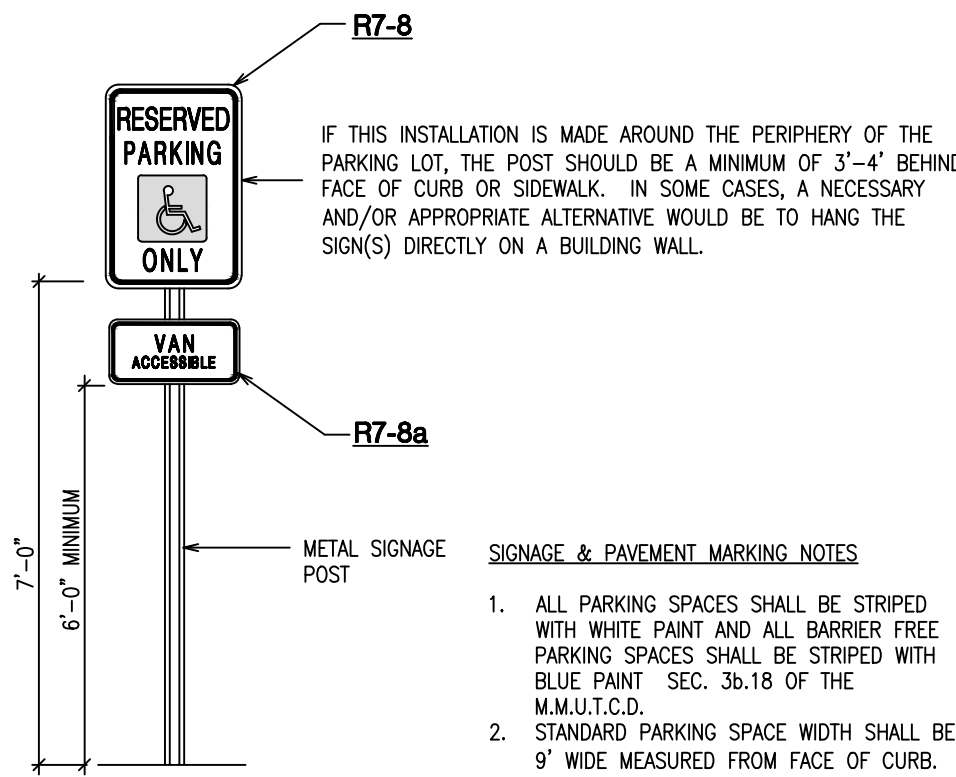
SINGLE DUMPSTER SCREENING DETAIL

SITE-DE  
NOT TO SCALE



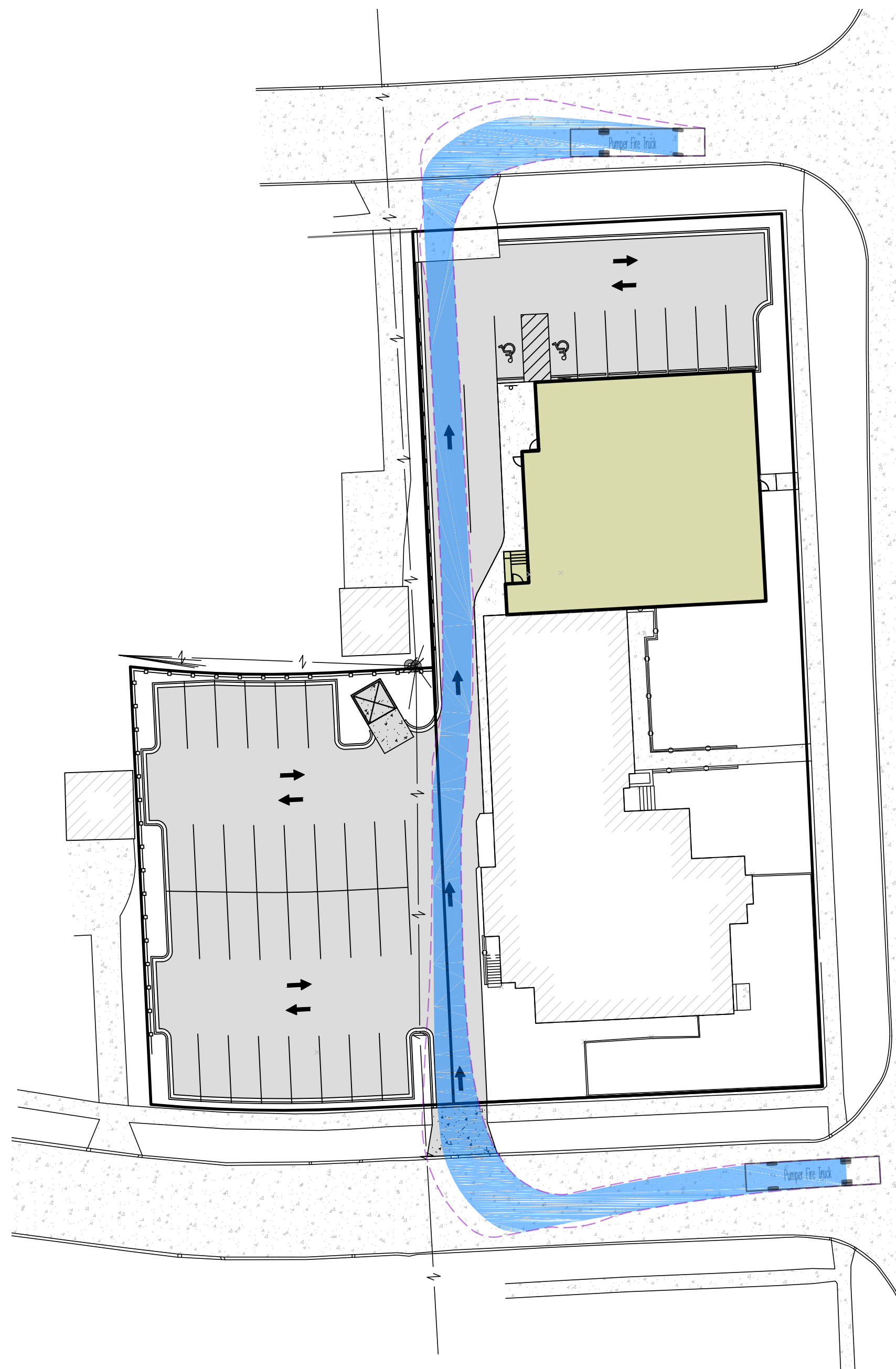
CONCRETE BUMPER BLOCK

SITE-BB  
NOT TO SCALE



BARRIER FREE SIGN

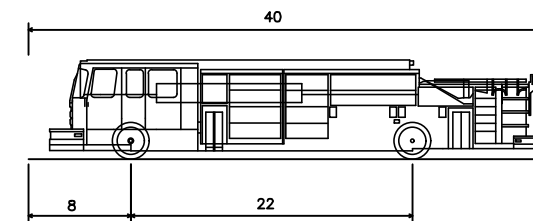
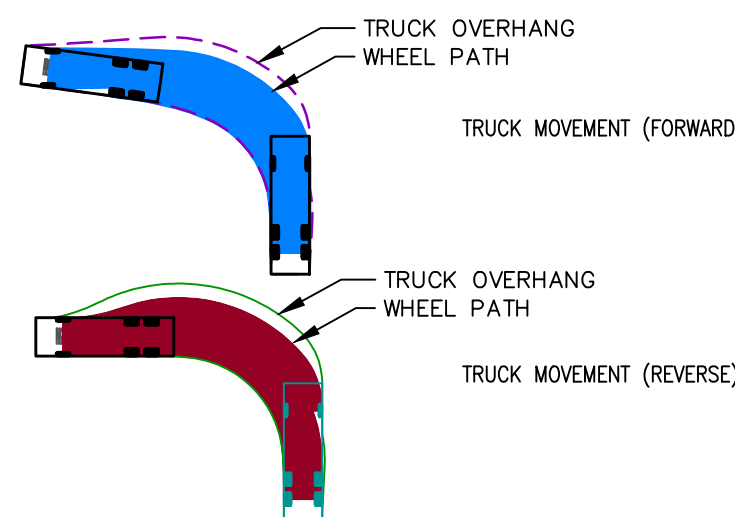
SIGN-BF  
NOT TO SCALE



TRUCK MANUEVERING PATH

SCALE: 1" = 30 FEET

TRUCK TURNING LEGEND



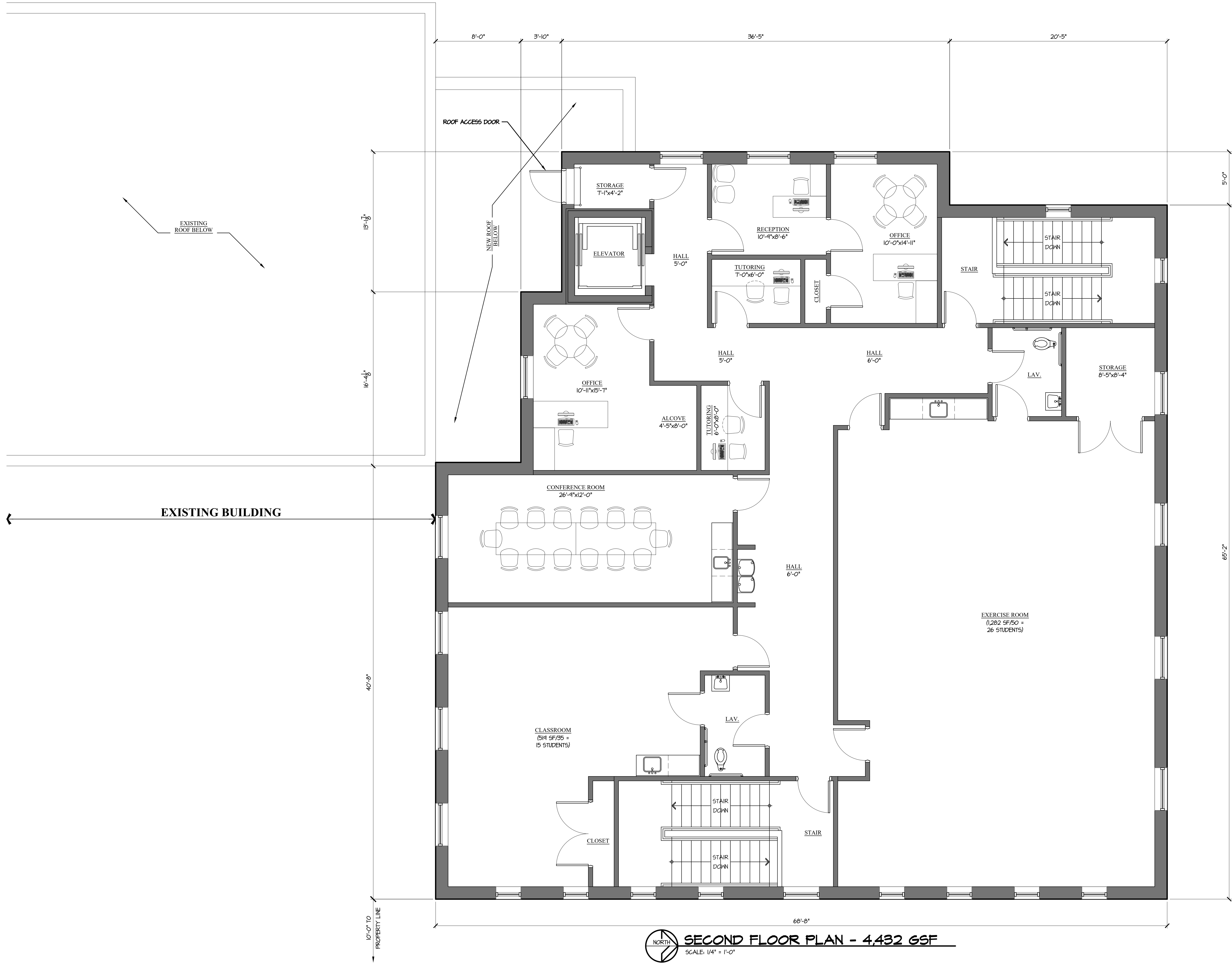
Pumper Fire Truck  
Overall Length 40.000ft  
Overall Width 8.167ft  
Overall Body Height 7.745ft  
Min Body Ground Clearance 0.656ft  
Track Width 8.167ft  
Lock-to-lock time 5.00s  
Max Wheel Angle 45.00°

PUMPER FIRE TRUCK PROFILE





SCALE: 1/4" = 1'-0"



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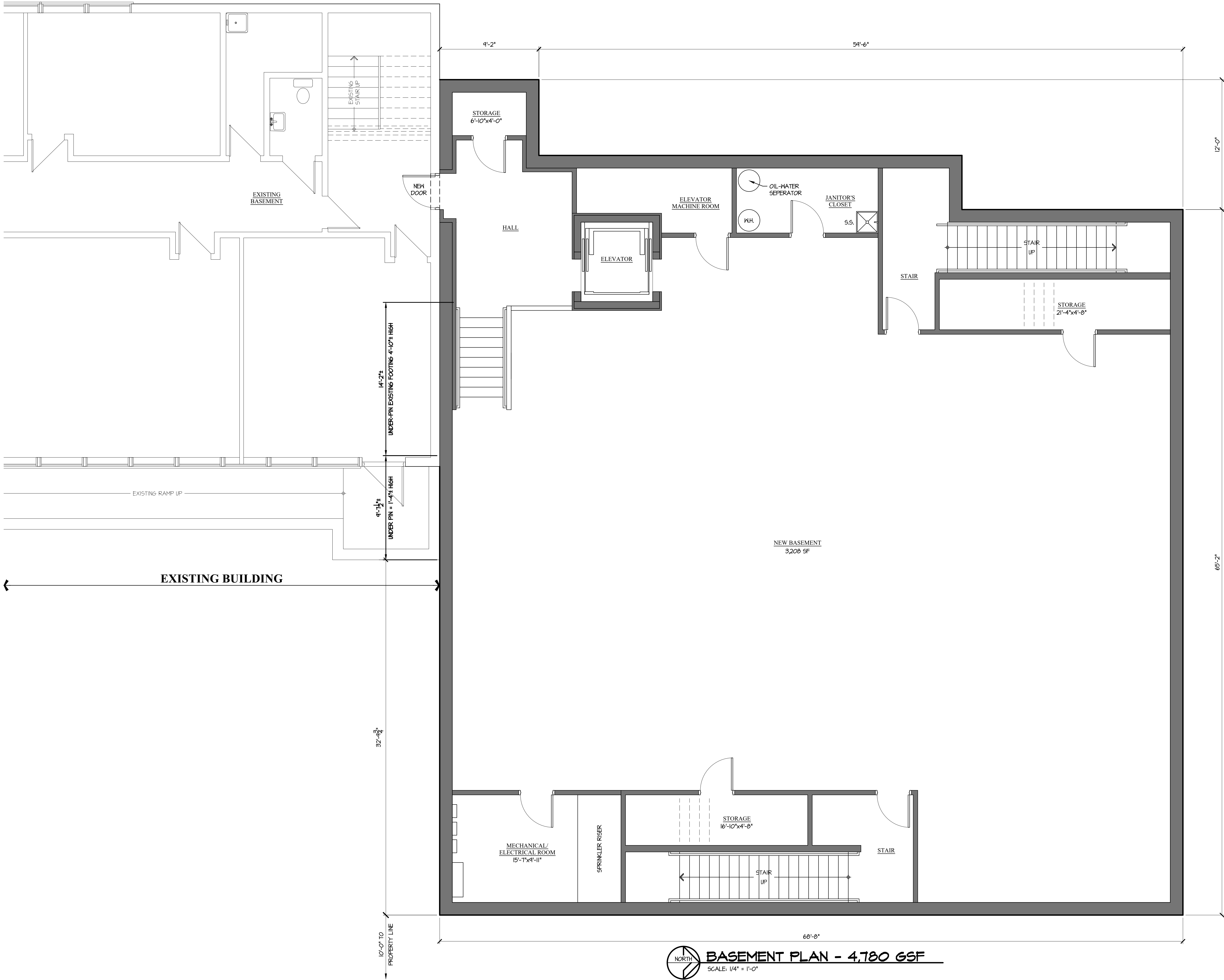


FOR:  
**RAND**  
CONSTRUCTION  
1210 RICKETT ROAD  
BRIGHTON, MI 48116  
PHONE: 810-227-1011

PROJECT: WILMOS & LILLIAN SCHWARCZ  
25401 COOLIDGE ROAD ADDITION  
OAK PARK, MICHIGAN  
SHEET TITLE: SECOND FLOOR PLAN

|           |                                                   |
|-----------|---------------------------------------------------|
| 6-27-2025 | REVISED PER FRONT YARD SETBACK                    |
| 6-19-2025 | REVISED TO LOWER FIRST FLOOR TO GRADE LEVEL ENTRY |
| 7-12-2024 | ADDED ENTRY CANOPY                                |
| 7-10-2024 | RAND REVIEW                                       |
| 5-24-2024 | REVISED PER OWNER REVIEW                          |
| 5-16-2024 | OWNER REVIEW                                      |
| DATE      | ISSUED FOR                                        |

DO NOT SCALE THIS PRINT,  
USE DIMENSIONS SHOWN ONLY  
DRAWN BY: KY  
APPROVED BY: KY  
PROJECT: 2419  
SHEET: A2



**BASEMENT PLAN - 4,780 GSF**

SCALE: 1/4" = 1'-0"



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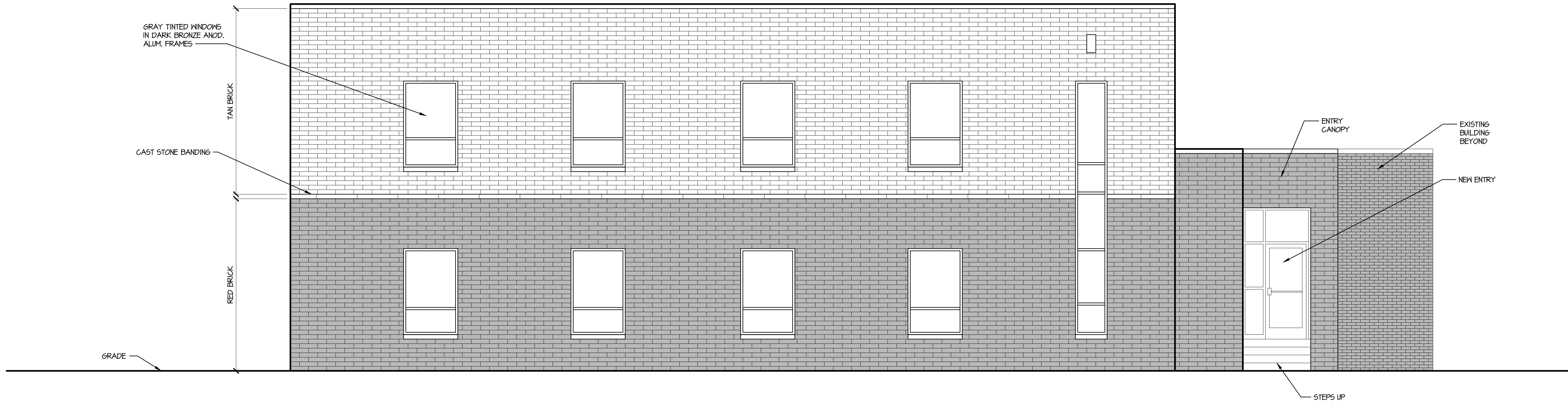


FOR:  
**RAND  
CONSTRUCTION**  
1270 RICKETT ROAD  
BRIGHTON, MI 48116  
PHONE: 810-227-1011

PROJECT: **WILMOS & LILLIAN SCHWARCZ  
25401 COOLIDGE ROAD ADDITION  
OAK PARK, MICHIGAN**

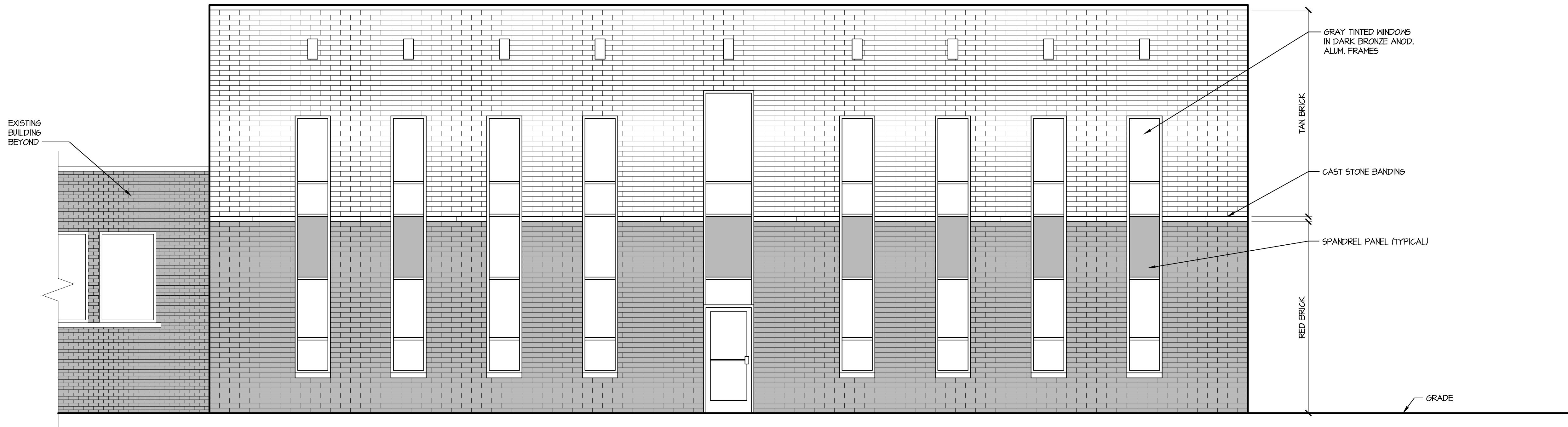
SHEET TITLE: **BASEMENT PLAN**

|                                                    |                                                   |  |
|----------------------------------------------------|---------------------------------------------------|--|
| 6-27-2025                                          | REVISED PER FRONT YARD SETBACK                    |  |
| 6-19-2025                                          | REVISED TO LOWER FIRST FLOOR TO GRADE LEVEL ENTRY |  |
| 7-12-2024                                          | ADDED ENTRY CANOPY                                |  |
| 7-10-2024                                          | RAND REVIEW                                       |  |
| 5-24-2024                                          | REVISED PER OWNER REVIEW                          |  |
| 5-16-2024                                          | OWNER REVIEW                                      |  |
| DATE                                               | ISSUED FOR                                        |  |
| DO NOT SCALE THIS PRINT, USE DIMENSIONS SHOWN ONLY |                                                   |  |
| DRAWN BY:                                          | KY                                                |  |
| APPROVED BY:                                       | KY                                                |  |
| PROJECT:                                           | 2419                                              |  |
| SHEET:                                             | <b>B1</b>                                         |  |



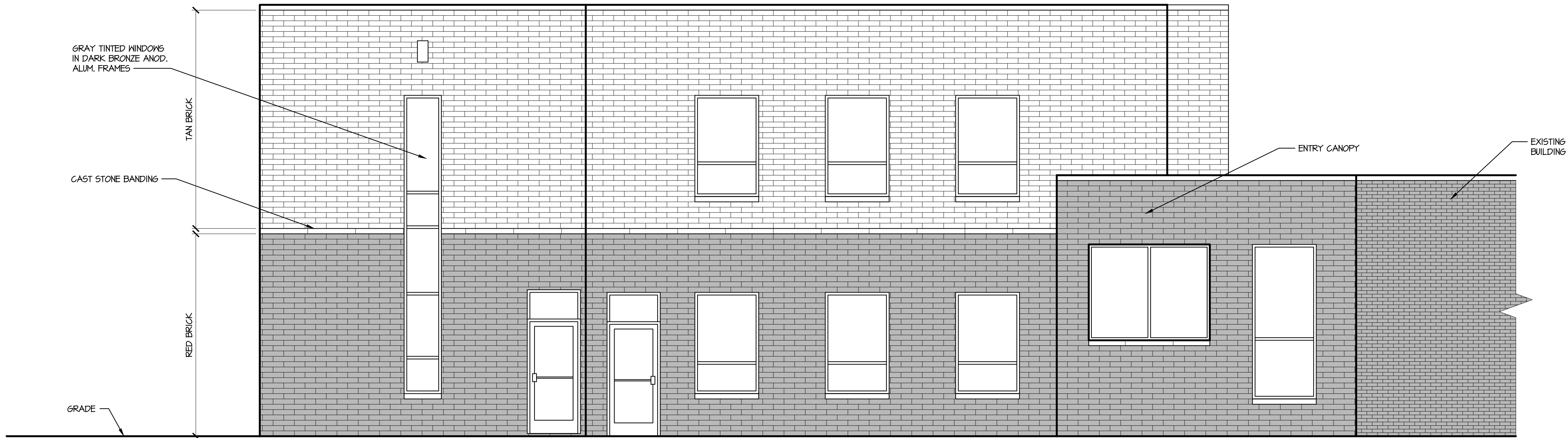
NORTH (LUDLOW AVE.) ELEVATION

SCALE: 1/8" = 1'-0"



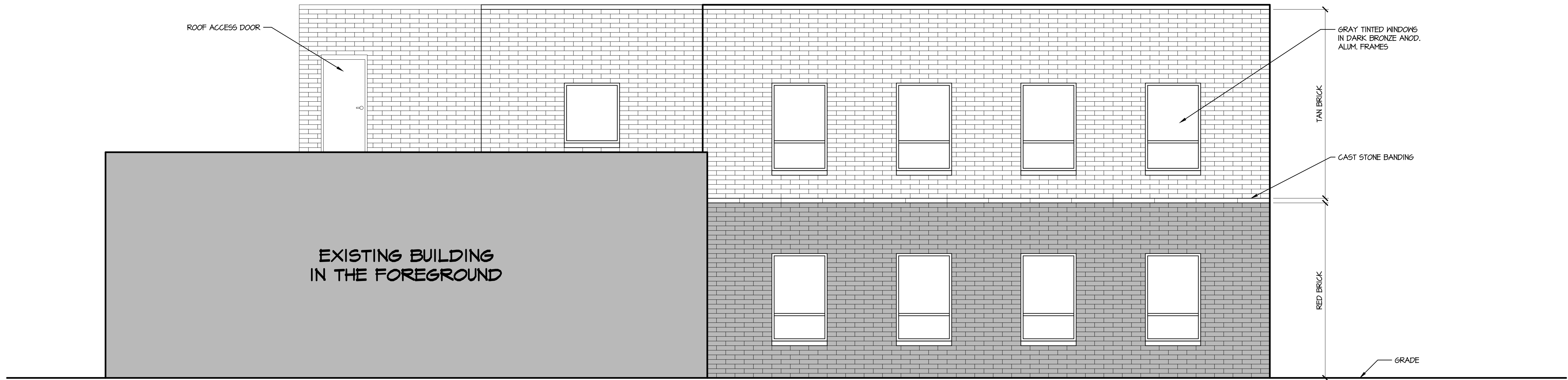
EAST (COOLIDGE HWY.) ELEVATION

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



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**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

FOR:  
**RAND**  
**CONSTRUCTION**  
12710 RICKETT ROAD  
BRIGHTON, MI 48116  
PHONE: 810-227-1011

PROJECT: **WILMOS & LILLIAN SCHWARCZ**  
SHEET: **25401 COOLIDGE ROAD ADDITION**  
TITLE: **OAK PARK, MICHIGAN**  
PROJECT: **WEST AND SOUTH**  
SHEET: **EXTERIOR ELEVATIONS**

|           |                                                   |
|-----------|---------------------------------------------------|
| 6-27-2025 | REVISED PER FRONT YARD SETBACK                    |
| 6-19-2025 | REVISED TO LOWER FIRST FLOOR TO GRADE LEVEL ENTRY |
| 7-12-2024 | ADDED ENTRY CANOPY                                |
| 7-10-2024 | RAND REVIEW                                       |
| 5-24-2024 | REVISED PER OWNER REVIEW                          |
| 5-16-2024 | OWNER REVIEW                                      |
| DATE      | ISSUED FOR                                        |

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DRAWN BY: KY  
APPROVED BY: KY

PROJECT: 2419

SHEET:  
**A4**



## CITY OF OAK PARK, MI STAFF REPORT

### 9.A.1

**AGENDA FOR:** January 5, 2026

**SUBJECT:** Request to approve the 2026 Michigan Humane Animal Sheltering Agreement.

**DEPARTMENT:** Municipal Services

**FROM:** Daniel Fairless, Deputy Director of Municipal Services

**SUMMARY:** Enclosed is a one-year agreement between the City of Oak Park and Michigan Humane for animal boarding and treatment as necessary.

**FINANCIAL STATEMENT:** Funding for these services is budgeted in the Contractual Services, Animal Control Account (101-16.371-818.015).

**RECOMMENDED ACTION:** It is recommended that the 2026 Animal Sheltering Agreement between the City of Oak Park and Michigan Humane be approved upon review by the City Attorney. It is further recommended to the allow City Manager to execute the contract on behalf of the city.

**EXHIBITS:**

1. Oak Park\_ Animal Sheltering Agreement

## ANIMAL SHELTERING AGREEMENT

THIS AGREEMENT ("Agreement") is executed on \_\_\_\_\_ (the "Execution Date"), but effective as of January 1, 2026 (the "Effective Date") by and between the City of Oak Park (the "City") whose principal address is 14300 Oak Park Boulevard, Oak Park, MI 48237 and MICHIGAN HUMANE whose principal address is 2937 E Grand Boulevard, Suite 800, Detroit, MI 48202.

WHEREAS, the City and Michigan Humane desire to contract for Michigan Humane to assume certain responsibilities to assist in the enforcement of the animal laws and regulations of the State of Michigan and the ordinances of the City; and

WHEREAS, the parties desire to set forth the terms of their agreement in a written document.

THEREFORE, for valid consideration received, the parties agree as follows:

### **SECTION I** **Certain Definitions**

The following capitalized words and phrases used in this Agreement shall have the following meanings:

1.01 "**Animal Shelter**" shall mean a facility owned and operated by Michigan Humane to care for impounded and other animals.

1.02 "**Animal(s)**" includes all dogs, cats, wildlife, rodents, reptiles, and all other animals commonly kept as domestic pets and livestock.

1.03 "**Euthanasia**" means the humane destruction of animals.

1.04 "**Impounded Animals**" means all dogs, cats, wildlife, rodents and all other animals commonly kept as domestic pets or livestock which are impounded (as strays or seized animals) and confined at the Animal Shelter by agents of the City or others in carrying out its rabies and animal control programs.

1.05 "**Michigan Penal Code**" means The Michigan Penal Code, Act 328 of 1931, as amended.

1.06 "**Owned Animals**" means any pet released directly to Michigan Humane by the owner(s) or by any person having been entrusted by the owner(s) with the care, control, custody and right to make disposition thereof.

1.07 "**Owner**" means that person or those persons having all rights of ownership of the subject animal including the right to transfer ownership, but does not include employees or agents of the City or other governmental agencies when acting pursuant to City ordinance, Michigan statute, or order of a court of competent jurisdiction.

1.08 "**Rabies**" is a specific infectious disease of certain animals, especially dogs, which may be communicated to humans by direct inoculation, as by a bite by an infected animal.

1.09 "**Required Holding Period**" means the time period required for holding stray animals or any animal suspected to be infected with rabies or an animal quarantined or isolated as provided by Michigan statute or City ordinance or directive, including without limitation, order(s) of a court or tribunal, or an amendment to either, whichever is greater.

1.11 "**Term**" means the period commencing the Effective Date and continuing until December 31, 2026, unless sooner terminated in accordance with Section 4.01 (the "Term").

Other capitalized words and phrases shall have such meanings as are ascribed to such respective capitalized words and phrases in this Agreement where expressly defined.

## **SECTION II**

### **Duties of Michigan Humane**

Michigan Humane shall, during the Term of this Agreement, perform the following duties:

2.01 **Animal Shelter**. Maintain an Animal Shelter adequate to provide the services required by this Agreement. Allow the City to register its municipality as an animal shelter at 900 N. Newburgh, Westland, Michigan 48185 solely to house animals in accordance with regulations from the Department of Agriculture.

2.02 **Adequate Shelter for Animals**. Provide adequate food, water, shelter and humane care for all animals impounded by the City and delivered to Michigan Humane, as well as such animals as are brought to the Animal Shelter from within the jurisdictional limits of the City by any party until placed or otherwise humanely disposed of in accordance with the applicable laws and ordinances consistent with the provisions of this Agreement.

2.03 **Cooperate with Authorities -- Animal Bitings**. Upon the request of authorized officers, agents and employees of the City, cooperate with respect to investigations of persons bitten by animals within the jurisdictional limits of the City.

2.04 **Adequate Shelter -- Isolated Animals**. Provide adequate food, water, shelter and humane care for any animal which is suspected of being infected with rabies, or which is quarantined or isolated at the instruction of the City, for such period of time as may be required by applicable law.

2.05 **Regular Business Hours**. Maintain regular business hours at the Animal Shelter for the purpose of transacting business, including the performance of its duties under this Agreement and for the purpose of receiving animals, and consistent with the reasonable provisions of the ordinances of the City, for accepting applications for the return of impounded animals. Michigan Humane will make reasonable efforts, by telephone or mail, to notify owners of identifiable animals which come into the possession of Michigan Humane.

2.06 **Cooperate with Authorities -- Animal Cruelty**. Upon the request of the City, its residents or others consistent with the provisions of the laws and regulations of the State of Michigan, cooperate in the investigation of reports of cruelty to animals or violations of laws and regulations relating to animal welfare.

2.07 **Vaccination**. Provide that all dogs and cats of required vaccination age released by Michigan Humane to residents of the City shall have been vaccinated against rabies or have proof shown of vaccination against rabies within the legally required time period to be released.

2.08 **Records**. Keep accurate financial records and account to the City monthly for all fees collected on behalf of the City. Michigan Humane will permit the City, upon reasonable advance notice and during normal business hours, to inspect and audit Michigan Humane records maintained pursuant to this Agreement.

2.09 **Indemnification**. Indemnify and hold harmless the City from any and all demands, claims, judgments or causes of action, and from all expenses that may be incurred in investigating or defending against same, arising as a result of the negligent acts or omissions of Michigan Humane, its agents or employees, in the performance of this Agreement.

2.10 **Insurance**. Carry, at its own expense, insurance in an amount not less than Two Hundred Fifty Thousand dollars (\$250,000) for the benefit of and to protect itself and the City against all such demands, claims, judgments or cause of action; and carry at its own expense, fidelity insurance coverage in an amount not less

than Fifty Thousand Dollars (\$50,000) covering all of its agents or employees, who in the exercise of their duties, collect or have custody of money belonging to the City.

#### **2.11 Investigating Crimes Against Animals.**

A. Michigan Humane may, at its own discretion, investigate crimes against animals as defined in Chapter IX of the Michigan Penal Code, including acts of neglect and/or cruelty to animals, within the City's jurisdiction as statutorily provided for in Chapter IX of the Michigan Penal Code. Michigan Humane may, at its own discretion, provide for an Investigator or Investigators to operate within the City's jurisdiction to investigate animal-related crimes.

B. In its discretion, the City attorney/prosecutor, or county prosecutor, as applicable, will process and authorize search warrants and arrest warrants based on information provided by Michigan Humane. Michigan Humane will assist in this process.

C. The City law enforcement officers, or county sheriffs, as applicable, will process arrest warrants based upon the findings of Michigan Humane staff, including entering such warrants in the LEIN system after the warrants are executed by a judge.

D. Michigan Humane will cooperate with the City law enforcement officers, or county sheriffs, as applicable, to execute search warrants secured as the result of a Michigan Humane investigation into suspected crimes against animals. Michigan Humane will secure any animals and provide any necessary services to the animals pursuant to the terms of this Agreement.

E. Michigan Humane will cooperate with the City attorney/prosecutor, or county prosecutor, as applicable, to testify in court as necessary, and assist to build a successful case against defendants.

### **SECTION III** **Duties of the City**

The City shall, during the Term of this Agreement, perform the following duties:

**3.01 Text of Relevant Laws.** Furnish Michigan Humane with an adequate supply of the text of all applicable laws and regulations dealing with dogs and cats and other animals and promptly furnish Michigan Humane with adequate copies of all new acts, amendments, regulations, or other applicable legislation.

**3.02 Duty to Document "Do Not Release".** Animals marked as "Do Not Release" or "Must Speak with Owner Before Release" must have documentation supporting why and include a timeframe for City to respond. Where feasible, the City shall respond to Owner inquiries within the same day.

**3.03 Humane Treatment; Animal Tranquilization Standards.** Ensure that all City employees charged with the duties of picking up, holding, transporting, and unloading animals do so in a humane manner, minimizing the risk of harm or injury to the animal(s). In any and all instances in which a City employee or agent thereof, in carrying out the aforementioned duties, engages in and/or causes any excessive handling of an animal(s) resulting in injury or harm, the City must provide Michigan Humane with adequate documentation addressing the incident, including, without limitation, the specific facts justifying the actions so taken (e.g., officer was in danger, animal was struck). The City, its employees and agent shall follow all Michigan Humane Field Tranquilization Standards and Protocols as set forth in **Addendum A**.

**3.04 Microchip Scanning.** City shall ensure that each ACO vehicle is equipped with a functioning microchip scanners. All scanning of animal microchips shall take place in the field. The City shall take all efforts, except

where impracticable, to reunite microchipped, personally tagged, City licensed animals in the field, without the involvement of Michigan Humane personnel. Trace log required at time of drop-off.

3.05 **Indemnification**. Indemnify and hold harmless Michigan Humane from any and all demands, claims, judgments or causes of action arising from or growing out of the intentional acts or omissions of the City, its agents or employees in the performance of this Agreement, whether or not the same rises to the level of negligence. The City shall be self-insured in accordance with its membership of the Municipal Risk Authority and shall provide Michigan Humane with evidence of such membership upon written request by Michigan Humane.

3.06 **Building Access**. Full access to Michigan Humane Facilities for animal drop off shall be provided to the City during ordinary business hours and dates as posted and updated by Michigan Humane from time to time as necessary. All requests by the City to drop off animal(s) during after-hours/non-ordinary business hours and dates shall be limited only to animal(s) which are healthy and otherwise do not require immediate medical/veterinarian attention.

3.07 **Coordination of Information Submission**. All questions, statements, requests, concerns of the City, its employees and agents relating to this Agreement and Michigan Humane's performance thereunder must be brought to a member of Michigan Humane's management. Requests for additional services to be performed by Michigan Humane must be in writing, including medical write-ups, services for court holds, staff statements, end of year documentation requests.

#### **SECTION IV** **Miscellaneous**

4.01 **Termination**. Either party may unilaterally terminate this Agreement upon thirty (30) days written notice to the other party.

4.02 **Fees**. The City shall pay the following fees to Michigan Humane for services under this Agreement:

A. A boarding/handling flat fee as outlined below (the "Flat Fee") shall be paid monthly by the City to Michigan Humane for each animal from within the City's jurisdictional limits impounded by action of the City, or any other party, and housed or accepted by Michigan Humane. Fees shall be payable monthly by the City upon receipt of an invoice from Michigan Humane covering the previous calendar month's operations. Terms of payment are net thirty (30) days with a one and one-half percent (1.5%) per month service charge on all past-due balances. Included in the Flat Fee shall be basic animal care for the Initial Holding Period, including the following: feeding twice per day, water, cleaning, enrichment, individual kennel housing or group housing where appropriate (i.e. puppies from the same litter), medical care including sterilization, vaccinations, worming, fecal test, heartworm test, heartworm preventative, flea preventative, initial round of medications for upper respiratory or intestinal issues.

B. Domestic animals: A Flat Fee of \$200 per animal

C. Not included in the Flat Fee are the following listed services for which additional compensation shall be paid by the City to Michigan Humane. The price of these services will increase 5% annually:

i. Wildlife (single): A charge of \$95 per animal for healthy wildlife brought to Michigan Humane by a representative of the City or any other authorized party shall be charged to the City. Authorization shall be presumed if a City official/employee refers a member of the public in possession of healthy wildlife to Michigan Humane. A charge of \$63 per animal for sick or injured wildlife brought to Michigan Humane by a representative of the City or any other authorized party shall be charged to the City. Authorization shall be presumed if a City official/employee refers a member of the public in possession of sick or injured wildlife to

Michigan Humane. Michigan Humane shall make the conclusive determination whether wildlife is healthy or sick or injured.

ii. Wildlife (litter): A charge of \$95 per litter of two or more animals from the same litter shall be Wildlife brought in as part of a litter of baby animals (such as rabbits, ducks, birds, etc.) shall be charged to the City.

iii. Rabies/Distemper: A specimen preparation and handling fee of \$315 per animal required to be tested for rabies/distemper, plus any fees charged by the testing agency shall be charged to the City. If services of a Michigan Humane veterinarian are used in the specimen preparation process, Michigan Humane, in its sole discretion, may charge an additional \$105. The City shall be responsible for all specimen preparation and handling fees. Michigan Humane, as a courtesy, shall make an effort to collect money from the owner of the animal; however, the City will be billed in the event Michigan Humane is not able to collect at the time service is rendered.

iv. Disposal Fee: Any additional disposal fees charged to Michigan Humane for an animal weighing over 100 pounds shall be passed along to the City.

v. Additional Veterinary Support: Any Veterinary care provided that is outside of the basic animal care described in Section 4.02(A) will be billed at cost. Examples include (but are not limited to) X-rays, diagnostics, fluids, bandaging, injections, sedation, surgery, complex wound care, supportive feeding (i.e. neo natal care). Billing may be consolidated upon final disposition of the animal rather than included in monthly invoicing.

vi. Additional Holding Time: \$58/day after the Initial Ten-Day Holding Period.

vii. Training Services: \$42/hour for training provided to Animal Control Officers.

viii. Consulting, Operational and Evaluation Services: \$42/hour.

ix. Court Cases: The following services provided for the purpose of assisting with an investigation/court case:

a. Medical write-up: Basic: \$48, Complex: \$95.

b. Necropsy: \$158 for the first hour and \$58/hour thereafter.

c. Diagnostics: At cost.

d. Court Write Up: \$105/case for the first hour and \$58/hour thereafter.

e. Court Appearance: \$58/hour

**4.03 Animals For Which No Fee Shall Be Paid.** No fees shall be assessed against the City for owned animals given directly to Michigan Humane by their owners. Additionally, no fee shall be assessed against the City for wildlife within the jurisdictional limits of the City impounded by action of a commercial pest control company operating independently of the City unless such wildlife has bitten a human and is therefore subject to quarantine or testing.

**4.04 Independent Contractor.** For all purposes herein, the relationship of Michigan Humane and the City shall be that of independent contracting parties and nothing contained herein shall create or be deemed to create an employer/employee relationship, a joint venture, or any other agency relationship whatsoever.

4.05 **Non-Discrimination.** Michigan Humane shall not discriminate against any employee or applicant for employment with respect to his/her hire, tenure, terms, conditions, or privileges of employment, or a matter directly or indirectly related to employment, compensation, tenure, terms, conditions, or privileges of employment or service because of race, color, religion, national origin, age, sex, height weight, marital status, or disability that is unrelated to the individual's ability to perform the duties of a particular job or position. Michigan Humane further agrees to require similar covenants on the part of any subcontractor employed in the performance of this Agreement or any agreement between Michigan Humane and the State, a political subdivision, or an agency thereof.

4.06 **No Animal Research.** Michigan Humane shall not be required at any time to release any animal for medical research or for any other purpose inconsistent with the Mission Statement or Statement of Principles and Beliefs of Michigan Humane.

4.07 **Non-Exclusivity.** Michigan Humane shall be free to enter into contractual arrangements with other communities without obtaining approval from the City so long as such arrangements do not impair performance of this Agreement.

4.08 **Retention of Vaccination/Veterinary Fees.** Michigan Humane shall retain all fees collected for vaccinations and veterinary service performed by Michigan Humane.

4.09 **Shelter License.** The City shall cooperate with Michigan Humane to become a registered/licensed animal shelter with the Department of Agriculture using Michigan Humane as its agent. The City shall pay any fees directly to the State of Michigan or reimburse Michigan Humane for the registration fee.

4.10 **Transfer of Ownership.** All unclaimed stray animals that become the property of the City and animals surrendered by the owner to the City shall be evaluated as to suitability for placement through a Michigan Humane placement partner or Michigan Humane adoption program. The City shall transfer ownership to Michigan Humane of those animals that are deemed placement candidates. In the event an animal is not deemed suitable for placement through Michigan Humane or a placement partner, the City authorizes and instructs Michigan Humane to humanely euthanize such animal.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their respective duly authorized agents as of the date first set forth above.

MICHIGAN HUMANE

By \_\_\_\_\_  
Douglas Plant  
Sr. Vice President & Chief Operating Officer

THE CITY OF OAK PARK

By \_\_\_\_\_  
Its \_\_\_\_\_